



HILLINGDON  
LONDON



# North Planning Committee

**Date:** TUESDAY, 6 DECEMBER  
2011

**Time:** 7.00 PM

**Venue:** COMMITTEE ROOM 5 -  
CIVIC CENTRE, HIGH  
STREET, UXBRIDGE UB8  
1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

## To Councillors on the Committee

Eddie Lavery (Chairman)  
Allan Kauffman (Vice-Chairman)  
David Allam  
Jazz Dhillon  
Michael Markham  
Carol Melvin  
John Morgan  
David Payne

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## A useful guide for those attending Planning Committee meetings

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### Petitions and Councillors

**Petitions** - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

### About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

# Agenda

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## Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meeting on 25 October 2011
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

## Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

### Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	103, 105 and 107 Ducks Hill Road, Northwood - 64345/APP/2011/1945	Northwood	Erection of a pair of linked part 2 part, 3 storey blocks with accommodation in the roof space, to provide, 12 two-bedroom and 1 three-bedroom apartments, involving demolition of 103, 105 and 107 Ducks Hill Road (Outline application)  <b>Recommendation: That the application be approved subject to a Unilateral Undertaking or S106 Agreement.</b>	21 - 60

### Non Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
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7	11 Hoylake Gardens, Ruislip - 66856/APP/2011/2263	Cavendish	Conversion of existing dwelling into 2 x 2 bed self contained flats with associated amenity space and parking involving 2 storey side extension, single storey rear extension and conversion of roof space into habitable use to include roof dormer and demolition of existing attached garage to side  <b>Recommendation: Approval</b>	61 - 78
8	Little Hammonds, Breakspear Road North, Harefield - 35910/APP/2011/718	Harefield	Change of use of site from Class C3 (Dwelling House) to mixed use Classes C3 (Dwelling house) and D1 (Non-Residential Institutions), involving the erection of a single storey building to rear for the D1 use as a meeting room with associated parking. Single storey side extension to the existing dwelling house (involving demolition of part of existing garage), new access road involving demolition of existing single storey side extension and the installation of 2 vehicular crossovers, new wall to front boundary and new fence to side.  <b>Recommendation: Refusal</b>	79 - 94
9	1 Harvil Road, Harefield - 13701/APP/2011/2334	Harefield	Variation of conditions 1 and 2 of planning permission ref. 13701/APP/2004/193 dated 30-04-2004 to allow the private care hire/chauffer business to operate 24 hours a day (retention of part of shop as private car hire/chauffeur business)  <b>Recommendation: Refusal</b>	95 - 102

10	13 Swakeleys Road, Ickenham - 19121/APP/2011/2066	Ickenham	Change of use from Class A2 (Financial and Professional Services) and Class B1 (Business) to Class C3 (Dwelling Houses) to include 3 x 1-bed, 1 x bedsit and 1 x 2-bed self-contained flats involving conversion of roof space of rear building with a dormer to front and alterations to elevations of front building  <b>Recommendation: Refusal</b>	103 - 118
11	Land to the rear of 51 and 53 Pembroke Road, Ruislip - 66982/APP/2011/2221		Erection of 2 five-bedroom, two storey detached dwellings with habitable roofspace, associated parking and amenity space  <b>Recommendation: Refusal</b>	119 - 132
12	5 Poplar Close, Ruislip - 61775/APP/2011/1204	West Ruislip	Single storey side/rear extension.  <b>Recommendation: Refusal</b>	133 - 140

### Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
13	168 Whitby Road, Ruislip - 38420/APP/2011/2410	Cavendish	Single storey side extension to existing property  <b>Recommendation: Approval</b>	141 - 148
14	43 The Chase, Ickenham - 67155/APP/2011/1564	Ickenham	Single storey rear extension with habitable roofspace to include a gable end window and 1 side roof light, involving demolition of existing lean-to extension to rear.  <b>Recommendation: Refusal</b>	149 - 158
15	Any Items Transferred from Part 1			

**Plans for North Planning Committee**

16 Addendum Sheet - 6th December 2011

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# Agenda Item 3

## Minutes

### NORTH PLANNING COMMITTEE

25 October 2011

Meeting held at Committee Room 5 - Civic Centre,  
High Street, Uxbridge UB8 1UW



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	<p><b>Committee Members Present:</b> Councillors Eddie Lavery (Chairman) Allan Kauffman (Vice-Chairman) David Allam Michael Markham Carol Melvin John Morgan David Payne Peter Curling</p> <p><b>LBH Officers Present:</b> James Rodger, Meg Hirani, Manmohan Ranger, Sarah White and Nav Johal</p> <p><b>Also Present:</b> Councillor Scott Seaman-Digby (item 24) and Councillor Philip Corthorne (item 14)</p>	
30.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Councillor Jazz Dhillon sent his apologies, and Councillor Peter Curling was present as a substitute.</p>	<b>Action by</b>
31.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>None.</p>	<b>Action by</b>
32.	<p><b>TO SIGN AND RECEIVE THE MINUTES OF THE MEETINGS HELD ON 15 SEPTEMBER 2011 &amp; 4 OCTOBER 2011</b> (<i>Agenda Item 3</i>)</p> <p>These were agreed to be an accurate record.</p>	<b>Action by</b>
33.	<p><b>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT</b> (<i>Agenda Item 4</i>)</p> <p>None.</p>	<b>Action by</b>
34.	<p><b>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE</b> (<i>Agenda Item 5</i>)</p> <p>Items marked part 1 were considered in public and items parked part 2 were considered in private. There were no part 2 items to consider.</p>	<b>Action by</b>

35.	<p><b>URGENT ITEM: 36-38 CHESTER ROAD, NORTHWOOD 50613/APP/2011/397 (Agenda Item 24)</b></p> <p><b>Changes to rear elevation, windows to include wider rear doors. (Application for non-material amendment following grant of appeal decision ref: APP/R5510/A/06/2008833/NWF dated 27/07/2006; Erection of 24-bedroom care home with refurbishment and alterations to no.34 Chester Road and associated parking, involving the demolition of nos.36 and 38 Chester Road)</b></p> <p>In the absence of the application providing a full description of the amendments sought, comprehensive floor plans of all the floors affected and elevation drawings showing the full extent of the amendments shown on plan, the Local Planning Authority was unable to consider the full extent and impact of the proposed amendments. As such, the application failed to demonstrate that the amendments were non-material and would not be harmful to the appearance of the building, the street scene and the amenities of the surrounding area.</p> <p>The proposal was thus contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).</p> <p>2 objection letters and a petition in objection to the application had been received by the Council.</p> <p>In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.</p> <p>Points raised by the petitioners:</p> <ul style="list-style-type: none"> <li>• Mrs Bridger spoke on behalf of the petition submitted to the Council.</li> <li>• She explained that the plans produced by the applicant were not the same as the request for the changes.</li> <li>• The plans showed that there would be no dining room, the existing lounges would be combined, the patio doors would be blocked and there would be an increase in noise as a result of the changes proposed.</li> <li>• That the side elevation was not shown in the drawings from the applicant.</li> <li>• There were privacy issues to consider. The distance away was less than 3 metres and there would be overlooking onto neighbouring properties.</li> <li>• The petitioner stated that neither window was glazed; this was a requirement of the original planning permission granted.</li> <li>• She asked that the size of the windows be looked into. That the windows overlooked neighbouring properties.</li> <li>• That there was no mention of the lift shaft protruding in the report.</li> </ul> <p>The agent was not present.</p> <p>Councillor Scott Seaman-Digby was present and spoke as a Ward</p>	Action by
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	<p>Councillor:</p> <ul style="list-style-type: none"> <li>• Cllr Seaman-Digby stated that the officer report was quite comprehensive and the petitioner had highlighted most of the issues of concern.</li> <li>• There were quite a number of issues which were problematic in this application.</li> <li>• Cllr Seaman-Digby stressed that the Council needed to do everything it could for the flagrant disregard for planning process.</li> <li>• He asked that officers, on behalf of residents, with legal assistance, did everything they could to put a stop to this.</li> <li>• He was happy with the officer recommendation of a refusal and stated that the Council needed to be on the front foot with the time consuming applications in regard to this property.</li> <li>• The Ward Cllr asked that officers looked at the site in detail and looked into as there were possible public safety concerns.</li> </ul> <p>Members stated that it was evident from the officer report that not enough information was provided by the applicant on the changes proposed.</p> <p>Enforcement was an issue that could be discussed outside of this meeting and the Committee agreed that officers should pursue this as required.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be refused as per the agenda.</b></p>	
36.	<p><b>HIGHGROVE HOUSE, EASTCOTE ROAD, RUISLIP</b>  <b>10622/APP/2010/1822</b> (<i>Agenda Item 6</i>)</p> <p>DEFERRED ON 14th July 2011 FOR FURTHER INFORMATION</p> <p><b>Variation of Condition 3 - Minor material amendment to planning permission ref: 10622/APP/2009/2504 dated 11/02/2010: Refurbishment and conversion of listed building to 12 residential units and erection of 4 two-bedroom mews dwelling houses and associated works (time extension of planning permission ref: 10622/APP/ 2006/2490 dated 11/01/2007) to allow alterations to the siting and design of the two blocks of mews housing (Retrospective application).</b></p> <p>Members recalled planning and listed building applications on this site for the refurbishment and conversion of Highgrove House to provide 12 residential units and the erection of 4 two-bedroomed mews houses with associated amenity space, off-street parking and landscaping, involving the demolition of the stable building. This item had been deferred to obtain legal opinion from Counsel.</p> <p>This application as originally submitted was for a revised siting and</p>	Action by

design of the mews housing. It had since come to light that the original plans submitted were inaccurate in terms of the siting of the adjoining properties in Kent Gardens. Accurate plans had now been submitted. Furthermore, this application sought to up-date the details which had now been approved in connection with the conditions attached to the renewed planning permission (ref. 10622/APP/2009/2504).

It was considered that as the revised siting of the mews housing did not bring the blocks any nearer to the listed Highgrove House and the alterations to their design were not extensive and were acceptable, its setting would not be adversely affected. For similar reasons, the alterations would not materially harm the amenities of future residents on the site.

In terms of the impact upon adjoining residents on Kent Gardens, it was considered that the revised siting and design of the mews housing would have a neutral impact, and with the planting of a laurel hedge on the boundary, possibly a reduced impact in terms of the existing planning permission as approved. The application was recommended for approval.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Mr Andrew Larkin spoke on behalf of the petition submitted to the Council.
- He believed the wrong questions were asked by officers when obtaining legal opinion.
- That commonsense had been lost, and he hoped that the Committee would see sense and did not approve the application.
- The petitioner stated that Councillors had visited the site themselves and asked whether the Council had the power to reject the 2007 permission granted.
- That if the Council could today give retrospective planning then they should have the power to take away planning permission.
- The petitioners felt the development should be demolished.
- Mr Larkin quoted Councillors who had previously expressed their dissatisfaction at the approval of the original plans.
- He stated that if the Council did not make a mistake originally then there would not be a need to be present to make a decision on the application at the meeting.
- He hoped that the Council had the strength, will and power to reject the application.
- The petitioner stated that if the Council could not be governed by its own rules then what hope was there for residents.

The agent spoke on behalf of the application submitted:

- Mr Brian Meyer spoke on behalf of the application.
- He referred to Counsel's opinion that was obtained and contained in the officer's report to Committee. That the

	<p>implemented planning was valid and was unlikely to be quashed by court.</p> <ul style="list-style-type: none"> <li>• If permission was not granted today then the applicant had the option to go to appeal, alternatively demolish what had been built and build it as per the original application which was agreed.</li> <li>• The applicant stated that the application that was being considered by Committee was better for residents than the previous.</li> </ul> <p>Members believed that they had asked the correct questions to Counsel, and Members had the QC's opinion which they had to take into consideration. The guidance that they had received was very clear. The 2007 permission was capable of being implemented and could not be removed.</p> <p>Officers confirmed that Counsels opinion which was sought by the Council. It was wrong to imply that the original planning permission breached Council policy.</p> <p>Members considered whether what was being proposed by the developer was better, the same, or worse than the original application. Despite any errors that could have been made the 2007 application could not be overturned and was not consideration for Members at the meeting.</p> <p>Members felt empathy for residents and felt frustrated for them, but they stressed that if they were to refuse permission on the application for consideration then the developers would have the option to go back to the 2007 application.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority of 5 in favour and 2 against. Cllrs' Payne and Melvin recorded their vote against the application.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	
37.	<p><b>THE SWAN PUBLIC HOUSE, BREAKSPEAR ROAD NORTH, HAREFIELD, 18239/APP/2011/1586</b> (<i>Agenda Item 10</i>)</p> <p><b>Demolition of existing two-storey detached building (Application for Conservation Area Consent).</b></p> <p>This was an application for conservation area consent to demolish the two storey detached building on site known as the Swan Public House.</p> <p>The application site was located on the eastern edge of the Harefield Village centre, directly opposite the village green and pond. It was sited on the south western side of Breakspear Road North, some 70m to the east of its junction with High Street and was roughly rectangular in shape, tapering towards the rear with a 24m frontage and an overall depth of 42m. The site comprises a detached two-storey building,</p>	<b>Action by</b>

which was formerly in use as a public house known as The Swan, but was vacant and the site boarded up. The main elevation of the building was set back from the front boundary of the site by approximately 3.3m to 4.0m and this area was used for car parking which appeared to have involved overhanging of the public footway.

The extent of consultation carried out on this scheme and the responses received were detailed on the planning application ref. 3877/APP/2010/2200, which was being reported to this committee. The comments raised by the petitioners and the individual responses mainly involved planning issues and were not particularly relevant to this application for conservation area consent.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Mr Jeremy Williamson spoke on behalf of the petition submitted to the Council.
- Most of those that signed the petition were against the design and impact on the village of the application.
- The documents produced by the Council stated what the residents felt very well.
- The siting, design and bulk were what they were objecting too.
- The rear of the proposed building would project a long way.
- The privacy and view would effect neighbouring gardens.
- The lead petitioner stated that they had no objection to a change of use, but the objection was to the style of the building proposed.
- The artist impression showed width of proposal was contrary to the street scene.
- There would be a great deal of over-looking on adjoining on neighbouring gardens.

The agent spoke on behalf of the application submitted:

- Mr Bill MacLeod noted corrections on the officer presentation: there were no rooms proposed for the roof in the application submitted.
- He also stated that there would be no balcony at the rear.
- The existing building was not a statutory listed building.
- The building had been extended and modified very poorly over the years.
- The petition made no reference to conservation area.
- The agent questioned the points raised about the width of the proposal.
- The building on the site would no longer be domestic in scale.
- The questions raised about the roof panels were misplaced; in the future solar panels could be built onto the roof.
- The size and style of the proposal was an acceptable replacement. The density was marginally over.
- The replacement building was well designed and had a positive impact on the street scene.

	<p>Members noted the points made by petitioners and the agent with regard to the floors, rooms, roof and amenity space.</p> <p>Members discussed the concept of the design and whether the scheme fitted in with the community and local environment. Members agreed that it would not.</p> <p>Members felt strongly against demolishing a building over 100 years old without good reason. The building was a period building and Members felt the application would not fit in with the street scene. Members were happy to go with the officer's recommendation.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be refused as per the agenda and amendment to reason to take out reference to planning application.</b></p>	
38.	<p><b>THE SWAN PUBLIC HOUSE, BREAKSPEAR ROAD NORTH, HAREFIELD, 18239/APP/2011/1588</b> (<i>Agenda Item 11</i>)</p> <p><b>Two storey detached building to contain 6, two-bedroom, self contained flats with associated parking and amenity space and alterations to existing vehicle crossover to front, (involving demolition of existing building).</b></p> <p>This application was for the demolition of The Swan Public House on Breakspear Road North and erection of a two storey block comprising 6 x two-bedroom flats with parking for 8 cars in the front opposite the village green within the Harefield Village Conservation Area.</p> <p>No objections were raised to the loss of the public house use. Although the existing building was not statutorily listed or included on the local list of buildings of architectural or historical merit, it was considered to make a positive contribution to the character and appearance of the Conservation Area. In these circumstances, it was not considered that the application provided sufficient justification as to why the building could not be retained. The proposed building was also considered to be of an inappropriate siting, bulk and design and the scheme would introduce an extensive parking area and large bin store to the front of the building which would detract from the Conservation Area.</p> <p>The scheme was also considered to result in a loss of privacy and appear unduly prominent to adjoining properties and failed to afford adequate amenities for its future occupiers. The scheme also did not make provision for an education contribution. It was recommended accordingly.</p> <p>This application was discussed with item 10.</p> <p>The recommendation for refusal was moved, seconded and on being</p>	Action by

	<p>put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be refused as per the agenda.</b></p>	
39.	<p><b>130 PINNER ROAD, NORTHWOOD, 6149/APP/2011/1742</b> (<i>Agenda Item 12</i>)</p> <p><b>Change of use from retail (Use Class A1) to Hot Food Take-away (Use Class A5) involving the installation of extractor duct to side and refuse store to rear.</b></p> <p>The application was for the change of use of the premises from a vacant A1 (retail) use to an A5 Take-away use. The proposal also included the installation of extract ducting and the provision of a bin store to the rear of the premises.</p> <p>Whilst the loss of an A1 retail use in itself could be acceptable at this location, it was considered that the siting of the bin store was inappropriate and detrimental to the amenities of the residential accommodation immediately adjacent to the proposed store. The application was therefore recommended for refusal.</p> <p>The proposed bin store would be poorly located and would be un-neighbourly, by virtue of its size, siting and general impact on residential amenity. It would therefore be detrimental to the amenities of the occupiers of the adjoining residential properties. As such, the proposal was contrary to Policies OE1, BE19 and BE21 of the Hillingdon Unitary Development Plan (Saved Policies, September 2007).</p> <p>The petitioners nor the applicant/agent were present and therefore did not speak on behalf of the petition or application.</p> <p>Members spoke about the application; they were familiar with the area. Members felt it was a potential for vermin to have the bins located where it was proposed.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be refused as per the agenda.</b></p>	<b>Action by</b>
40.	<p><b>24 EASTBURY ROAD, NORTHWOOD, 19305/APP/2011/1584</b> (<i>Agenda Item 13</i>)</p> <p><b>Erection of part ground floor, part first floor, part two storey side/rear extensions and extension and alteration of the roof, including a new rear gable, enlarged rear dormer, installation of new window on existing rear gable and five front and one rear rooflights and internal and external alterations, including the re-</b></p>	<b>Action by</b>



**location of the front entrance to allow change of use of property from day care centre (Class D1) to provide 2 three-bedroom and 3 two-bedroom flats (Class C3), including alteration of rear terraces, front ramp, bin and cycle stores and associated parking, access and landscaping (involving demolition of existing extensions, external side staircase and front ramp)**

The proposal was to erect part ground floor, part first floor and part two storey side/rear extensions, extend and alter the roof to include a new rear gable, installation of new window on existing rear gable, enlarged rear dormer and installation of five front and one rear rooflights and internal and external alterations to allow the change of use of the property from day care (Class D1) to 2 three-bedroom and 3 two-bedroom flats (Class C3) within the Northwood/Frithwood Conservation Area.

Internal and external works included the re-location of the front door in the front elevation, alterations to the existing terraced areas at the rear, new front access ramp and provision of bin and cycle stores at the side of the property. Parking for 6 vehicles, including a disabled space would be provided on the existing hardstanding area at the front of the property, accessed by means of a new central vehicular crossover, and associated landscaping. Works also involved demolition of the existing extensions, removal of external side staircase and front ramp.

There were no objections in principle to the loss of the day care facility with provision being made elsewhere in the borough and given this former more intensive use of the site, no objections were raised to the principle of providing flats on the site.

The extensions were considered to be appropriate to the size and scale of the building and their design would match existing features and harmonise with the character of the building. The scheme took adequate account of its impact upon existing trees on site. As such, the proposal would maintain and enhance the character and appearance of the conservation area.

The scheme would not adversely affect the amenities of surrounding residential properties and would afford appropriate residential accommodation for future occupiers. Parking and access arrangements were considered acceptable. It was recommended for approval.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Mr Mark Ryder spoke on behalf of the petition submitted.
- He stated that many of the 40 strong petitioners could not attend the meeting as it was during half term.
- The petitioners welcomed the change to the application.
- The main concerns of the petitioners were traffic, parking and privacy.

- Mr Ryder estimated that the around 17 people would be living there and this would exceed the 6 cars allocated.
- They would be forced to park on an already busy road.
- It was a dangerous 5 junction road.
- The application would mean that residents existing parking would be reduced on the road.
- The petitioner asked that Committee visited the site themselves to see the traffic and parking problems.
- The petitioner felt that the windows proposed had implications on the privacy of neighbours. The windows were more intrusive than that previously and another neighbouring application could not use the windows proposed.
- Northwood Residents Association strongly objected to the application.
- The application went against policy and the petitioner wished that their objections be noted.
- The petitions suggested alternatives of a single family development or a maximum of 3 flats for the site.

Members were familiar with the road and the surrounding roads. Members confirmed with officers that the proposed extension was in scale with the existing building.

Members discussed any overlooking that could exist and were satisfied that it was within guidelines.

Officers explained to Members that 7 parking spaces were being provided, this exceeded the minimum standard. One of the spaces could be used as a disabled bay and was large enough for the use.

Members were concerned about whether there was adequate space for a 7<sup>th</sup> bay as well as bin storage. Members also discussed how busy the road could get during the school run.

Officers and Members discussed any traffic implications with Members and felt that there were no additional concerns to consider.

Members stated that they were there to reject or accept the application put to them and not consider the alternatives suggested by the petitioner.

The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority of 5 in favour and 2 against. Cllrs' Melvin and Morgan recorded their vote against the application.

**Resolved –**

**That the application be approved as per the agenda amendments set out in the addendum.**

41.	<b>PEMBROKE HOUSE, 5-9 PEMBROKE ROAD, RUISLIP, 38324/APP/2011/786</b> ( <i>Agenda Item 14</i> )	<b>Action by</b>
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**Part conversion from retail/offices (Use Class A1/B1) to 6 x two-bedroom flats and 3 x three-bedroom flats with associated parking, amenity space, cycle store and bin store, installation of balconies to front and rear, alterations to elevations, new fenestration to upper floors, demolition of existing external fire escape, alterations to existing vehicular crossover and removal of existing plant on roof.**

Planning permission was sought for the conversion of vacant offices on the first, second and third floors of a four-storey building to residential use, comprising 6 x two bedroom and 3 x three bedroom flats. There was no objection in principle to their conversion to residential use.

The scheme would not adversely affect the residential amenity of adjoining occupiers. The development would provide 13 car parking spaces, which was considered acceptable in this town centre location with good public transport accessibility. Secure cycle storage would also be provided.

Amenity space was provided in the form of a 115sq.m communal amenity area to the rear and 125sq.m of private balconies for all flats, totalling 240sq.m of amenity space. It was considered that the proposal complies with relevant Council policy and approval was recommended subject to conditions.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Ms Sheppard spoke on behalf of the petitioners.
- She lived directly behind the application and stated the gardens would be completely overlooked.
- Although the application was 21metres away the balcony's proposed would look directly onto the gardens.
- The petitioner felt that the privacy issue had not been adequately addressed.
- The proposed screening on the balcony only came to waist height; people would be able to see over the top.
- The residents would feel like they would be on show.
- The Human Rights Act was mentioned in the report but was not addressed.
- A garden is a large part of family life and if the application was approved it would take this away from residents.
- Policy BE24 stated that there needed to be adequate level of privacy for neighbours.
- If the application was approved they would be sharing their lives with others.
- The current building was unattractive, but the proposed building was not in keep with the street scene which was red brick. The proposal was a yellow brick building.
- A neighbouring property had very stringent planning conditions

and the same should apply for this application.

The agent spoke on behalf of the application submitted:

- Mr Murray spoke on behalf of the application.
- Pembroke formed a familiar landmark on Ruislip Town Centre.
- There was a need for modernisation.
- The existing structure was unattractive and the proposal would provide a far more attractive building to the street scene.
- Financially the applicant could not afford to demolish the building and start over again.
- The application would compliment nearby retail.
- The application was compliant with policies.
- An investment of this sort should be applauded in today's economic environment.
- Most of the brickwork would be maintained.
- The balconies were there to give private amenity space to residents.

Councillor Philip Corthorne was present and spoke as a Ward Councillor:

- Cllr Corthorne spoke in support of the petitioners.
- The building did need improvement.
- The area was a conservation area.
- There would likely to be an impact on parking on adjoining roads, and people would be unlikely to follow pattern of there being less drivers.
- There was the impact of residential amenities and residents being overlooked to consider.
- The Ward Cllr challenged the level of amenity space stated on the application and that the proposed balconies could be considered amenity space.
- The area was already heavily congested with traffic issues.
- The Ward Cllr asked that the Committee looked at mitigating the effects on residents.

Officers explained to Members that the appearance issue was subjective, and the privacy issues raised were considered acceptable as the distance between the application and neighbouring gardens were far enough.

The Legal Officer explained that although Article 8 of the Human Rights Act was not specifically mentioned in the report, that the report contained comments in relation to impact and neighbours. The Legal Officer was satisfied that Article 8 was not breached.

Members discussed the points raised by the petitioners, Ward Councillor and agent. There were lots of issues to consider but they were not wholly against the application. Members discussed the option of a site visit.

Members were concerned that the balconies would look outwards and onto residents gardens and the overlooking. Members appreciated that the distance was a factor but had to consider how they would feel if

	<p>they were a resident in the area. They did not feel comfortable with the balcony on that height of the building.</p> <p>Also they did not agree with the idea that removing parking spaces would result in a reduction of cars.</p> <p>Members discussed whether the issue of overlooking would still exist if there were no balconies and just windows instead.</p> <p>Members also discussed the exterior design and felt there was an opportunity to do better with the appearance. Members did not have any issues with the office block being converted into residential flats. The concern was the appearance and Members asked if officers and the applicant could work together on improving this and the issue with balconies. Members suggested obscure glass could be an alternative to consider.</p> <p><b>Resolved –</b></p> <p><b>That the application be deferred to seek amendments involving removal of balconies and revisions to treatment of front/rear elevations.</b></p>	
42.	<p><b>LAND FORMING PART OF 66 LONG LANE, ICKENHAM, 49805/APP/2011/1811</b> (<i>Agenda Item 19</i>)</p> <p><b>Two storey 5-bed detached dwelling with habitable roofspace, associated parking and amenity space, involving installation of vehicular crossover.</b></p> <p>Planning permission was sought for the erection of a two storey building with habitable accommodation in the roof space, comprising 1 x 5-bedroom dwelling, together with parking to the front, access drive and associated landscaping.</p> <p>It was considered that the overall layout, density and design would result in a form of development which would harmonise with the surrounding area and would not be detrimental to the character and appearance of the Ickenham Village Conservation Area. The proposal would not detract from the amenities of adjoining occupiers and would provide a satisfactory standard of accommodation for future occupiers.</p> <p>Members applauded the application as all refusal reasons had been addressed.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	<b>Action by</b>
43.	<p><b>UNIT 3, RUISLIP RETAIL PARK, VICTORIA ROAD, RUISLIP, 43510/APP/2011/1343</b> (<i>Agenda Item 20</i>)</p>	<b>Action by</b>

**Variation of condition 6, (to remove restrictions on the sales of goods), of planning permission ref. 43510/APP/2010/1979 dated 10/02/2011: Construction of a 1,810 sq.m mezzanine within Unit 3, Ruislip Retail Park.**

The application sought to amend condition 6 of Planning Permission 43510/APP/2010/1979, to remove the restriction on the sale of fancy goods as it relates to the mezzanine floor of unit 3, Ruislip Retail Park.

This mezzanine floor space was recently granted planning permission on 10/2/2011, but had not yet been implemented. This proposal had been submitted in conjunction with another application, also on this agenda, which seeks to relax a similar condition on the type of goods that can be sold from the original unit, by removing any reference to 'fancy goods' (Condition 11 of planning permission ref: 43510/APP/2000/2485). The unit had been vacant for two and a half years and the relaxation of the conditions was intended to facilitate bringing the unit back into economic use, through the widening of the range of goods permitted to be sold, to allow it to be occupied by interested retailers.

It was considered that sufficient information has been provided to demonstrate that the development would not have a detrimental impact on the vitality or viability of nearby Town Centres in accordance with Planning Policy Statement 4: Planning for Sustainable Economic Growth, relevant UDP and London Plan policies.

It was not considered that the expansion in the range of goods sold at the site would give rise to any significant additional traffic generation which would be detrimental to the operation of the highway network. Subject to conditions, the existing car parking and servicing facilities for the retail park would be retained for use by the proposed unit and would continue to meet the needs of the proposed unit and retail park as a whole.

There were no external amendments. As such the unit would remain in keeping with the character and appearance of the surrounding area. The development would not result in any detrimental impacts on the amenity of nearby residential occupiers, subject to conditions.

Accordingly, approval was recommended to relax the existing planning condition as proposed, subject to the imposition of all other conditions originally imposed, which were still relevant and capable of being discharged.

The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.

**Resolved –**

**That the application be approved as per the agenda.**

<p>44.</p>	<p><b>UNIT 3, RUISLIP RETAIL PARK, VICTORIA ROAD, RUISLIP, 43510/APP/2011/1344</b> (<i>Agenda Item 21</i>)</p> <p><b>Variation of condition 11 (to remove restrictions on the sales of fancy goods) of planning permission Ref: 43510/APP/2000/2485 dated 14/03/2003: (Refurbishment of existing retail units, with new cladding on all elevations, new covered walkway on northern frontage (facing Victoria Road) and changes to service arrangements and car parking with enhanced frontage landscaping, incorporating disused service road.</b></p> <p>The application sought to amend condition 11 of Planning Permission 43510/APP/2000/2485 to allow for the sale of fancy goods as it relates to unit 3, in order to expand the acceptable range of goods.</p> <p>It was considered that sufficient information had been provided to demonstrate that the development would not have a detrimental impact on the vitality or viability of nearby Town Centres in accordance with Planning Policy Statement 4: Planning for Sustainable Economic Growth, relevant UDP and London Plan policies.</p> <p>It was not considered that the expansion in the range of goods sold at the site would give rise to any significant additional traffic generation which would be detrimental to the operation of the highway network. Subject to conditions, the existing car parking and servicing facilities for the retail park would be retained for use by the proposed unit and would continue to meet the needs of the proposed unit and retail park as a whole.</p> <p>There were no external amendments. As such the unit would remain in keeping with the character and appearance of the surrounding area. The development would not result in any detrimental impacts on the amenity of nearby residential occupiers, subject to conditions.</p> <p>Accordingly, approval was recommended to relax the existing planning condition as proposed, subject to the imposition of all other conditions originally imposed, which were still relevant and capable of being discharged.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	<p><b>Action by</b></p>
<p>45.</p>	<p><b>FORMER RAF EASTCOTE, LIME GROVE, RUISLIP, 10189/APP/2011/1724</b> (<i>Agenda Item 7</i>)</p> <p><b>Replacement of one 5 Bedroom dwelling (type 2000 D) with an alternative 5 bedroom dwelling at plot 314. (Amendment to reserved matters approval ref: 10189/APP/2007/3046 dated 31/03/2008)</b></p>	<p><b>Action by</b></p>

	<p>This report related to an application seeking variations to the layout and design of the alternative access reserved matters scheme (ref: 10189/APP/2007/3046), for the former RAF Eastcote site, which was approved on 31 March 2008. The amendments would allow for a larger 5 bedroom detached dwelling than originally approved on plot 314.</p> <p>This plot was located in the north east corner of the northern section of the former RAF Eastcote site. The amendments to this plot, in terms of the layout, design and landscaping was in general accordance with the reserved matters approval. It was considered that the proposal would respect the character of the local area and not detract from the internal character of the development.</p> <p>The larger dwelling on this plot would not have an adverse impact on the amenities of surrounding residents in terms of loss of privacy, outlook, daylight or sunlight. The remaining external amenity area of this plot was considered sufficient to meet the needs of future occupiers, whilst the development would not prejudice the implementation of the approved landscaping scheme, including the retention of existing trees. Approval was recommended accordingly.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	
46.	<p><b>PYLON FARM, NEWYEARS GREEN LANE, HAREFIELD, 12579/APP/2011/1991 (Agenda Item 8)</b></p> <p><b>Variation of condition 1 of planning permission ref: 12579/APP/2006/673 dated 18/08/2006 to allow continued use of the land as an organic composting site. (Section 73 application)</b></p> <p>Planning permission was sought for the continued use of land at Pylon Farm as an organic composting site for a further temporary period of 12 months. Composting was a form of industrial use which was not normally considered appropriate in a Green Belt location.</p> <p>However, as Council policy aimed to increase green waste recycling in line with the Government's Waste Strategy, it was considered that there were special circumstances to justify the continued use at this location, to the extent that the harm on the openness of the Green Belt had been outweighed. Therefore, even though the application was contrary to Saved Policy OL1 of the UDP, approval was recommended.</p> <p>The activities would not be visually intrusive, increase the built up nature of the site, or harm the openness of the area, while the proposal was considered acceptable on highway safety grounds. Therefore approval was recommended.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p>	Action by



	<p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	
47.	<p><b>LAND ADJACENT TO COMPOST MATURATION SITE AT PYLON FARM, NEWYEARS GREEN LANE, HAREFIELD, 12579/APP/2011/1992</b> <i>(Agenda Item 9)</i></p> <p><b>Variation of condition 2 of planning permission ref: 12579/APP/2006/1524 dated 18/08/2006 to allow the continued use of the land as an organic composting site for a period of 12 months. (Section 73).</b></p> <p>Planning permission was sought for the continued use of the compost maturation extension area at Pylon Farm as an organic composting site for a further temporary period of 12 months. Composting was a form of industrial use which was not normally considered appropriate in a Green Belt location.</p> <p>However, as Council policy aimed to increase green waste recycling in line with the Government's Waste Strategy, it was considered that there were special circumstances to justify the continued use at this location, to the extent that the harm on the openness of the Green Belt had been outweighed. Therefore, even though the application was contrary to Saved Policy OL1 of the UDP, approval was recommended.</p> <p>The activities would not be visually intrusive, increase the built up nature of the site, or harm the openness of the area, while the proposal was considered acceptable on highway safety grounds. Therefore approval was recommended.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	Action by
48.	<p><b>LAND ADJACENT TO COMPOST MATURATION SITE AT PYLON FARM, NEWYEARS GREEN LANE, HAREFIELD, 12579/APP/2011/1993</b> <i>(Agenda Item 18)</i></p> <p><b>Variation of condition 1 of planning permission ref 12579/APP/2007/534 dated 24/05/2007 to allow retention of the existing drainage lagoon for a period of 12 months. (Section 73 application).</b></p> <p>Planning permission was sought for a temporary period of 12 months for the retention and continued use of a drainage lagoon, required for operations connected with the use of land at Pylon Farm as an organic composting facility. The lagoon was located at the northern end of an extended compost maturation site. Separate planning applications to</p>	Action by

	<p>extend the use of the original and extended maturation sites were also included on this agenda.</p> <p>The retention of the lagoon for a further 12 month period would not increase the built up nature of the site, or harm the openness of the area to a detrimental degree. Although composting was a form of industrial use which was not normally considered appropriate in a Green Belt location, Council policy aimed to increase green waste recycling in line with the Government's Waste Strategy. It was considered that these were special circumstances to justify the retention and continued use of the composting facilities, of which the drainage lagoon formed an integral part, at this location, to the extent that the harm to the openness of the Green Belt hds been outweighed. Approval was therefore recommended.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	
49.	<p><b>67 EASTCOTE ROAD, RUISLIP, 32752/APP/2011/1685</b> (<i>Agenda Item 15</i>)</p> <p><b>Part two storey, part single storey rear extension with 3 rooflights involving demolition of conservatory to rear.</b></p> <p>Planning permission was sought to demolish the existing conservatory and construct a part two storey, part single storey rear extension. To the rear, the proposed single storey extension would measure 4m deep and would extend the full width of the dwelling and further 1.5m out to the common boundary with No. 65 infilling the area directly behind the existing garage. It would be finished with a hipped roof with a maximum height of 3.8m to the top of the roof. The roof would include 3 rooflights providing additional light to the proposed new utility room and lounge.</p> <p>The proposed two storey element would be set in from both adjoining boundaries (2.35m from No.65 and 1.1m from No. 69 Eastcote Road) and would project 3m into the rear garden measuring the width of the dwelling at 6.3m. It would be finished with a hipped roof that would be set down 1.2m from the ridge of the existing dwelling with a maximum height of 7.3m.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	<b>Action by</b>
50.	<p><b>106 FIELD END ROAD, EASTCOTE, 11104/APP/2011/334</b> (<i>Agenda Item 16</i>)</p>	<b>Action by</b>

	<p><b>Change of use from retail (Use Class A1) to restaurant/Cafe (Use Class A3) and installation of flue to side.</b></p> <p>Planning permission was sought for the retention of a restaurant use and the installation of an extract flue on the roof of the rear extension. The change of use did not result in the proportion of frontage in non-retail use within the secondary area exceeding 50%.</p> <p>However, it would result in a break in the retail frontage which would exceed 12m and could be construed as an over-concentration of non-shop uses, but given that these premises would also operate as a delicatessen, the proposal was considered acceptable in this instance.</p> <p>Members confirmed with Officers that any future similar applications would come to Committee. The figure was very close to 50% so there was leigh-way for Committee.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	
51.	<p><b>109 FIELD END ROAD, EASTCOTE, 12666/APP/2011/1044</b> (<i>Agenda Item 17</i>)</p> <p><b>Change of use to from Use Class A1 (Shops) to Use Class A5 (Hot Food Take-away)</b></p> <p>Planning permission was sought for a take away use. The change of use did not result in the proportion of frontage in non-retail use within the secondary area exceeding 50% and it was not considered that the proposal would impact on the amenities of adjoining occupiers to such an extent as to justify refusal. The proposal was therefore considered acceptable in this instance.</p> <p>The figures in this application were very close to 50% therefore the Committee had leigh-way. Any further similar applications would be considered by Committee.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved –</b></p> <p><b>That the application be approved as per the agenda.</b></p>	<b>Action by</b>
52.	<p><b>S106 QUARTERLY MONITORING REPORT - UP TO 30 JUNE 2011</b> (<i>Agenda Item 22</i>)</p> <p>This report provided financial information on s106 and s278 agreements in the North Planning Committee area up to 30 June 2011 where the Council had received and held funds.</p>	<b>Action by</b>

	<b>Resolved – That the Members noted the contents of the report.</b>	
	The meeting, which commenced at 7.00 pm, closed at 10.00 pm.	

These are the minutes of the above meeting. For more information on any of the resolutions please contact Nav Johal on 01895 250692. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

## Report of the Head of Planning & Enforcement Services

**Address** 103, 105 AND 107 DUCKS HILL ROAD NORTHWOOD

**Development:** Erection of a pair of linked part 2 part, 3 storey blocks with accommodation in the roof space, to provide, 12 two-bedroom and 1 three-bedroom apartments, involving demolition of 103, 105 and 107 Ducks Hill Road (Outline application)

**LBH Ref Nos:** 64345/APP/2011/1945

**Drawing Nos:** FSW 10-725-050  
FSW 10-725-051  
FSW 10-725-052 Rev. A  
FSW 10-725-053  
FSW 10-725-054 Rev.A  
FSW 10-725-056 Rev. A  
FSW 10-725-057 Rev. A  
FSW 10-725-058 Rev. A  
FSW 10-725-110 Rev. A  
FSW 10-725-111 Rev. A  
FSW 10-725-115 Rev. A  
FSW 10-725-116  
FSW 10-725-125  
FSW 10-725-126  
FSW 10-725-127  
FSW 10-725-130  
FSW 10-725-132  
FSW 10-725-150  
Location Plan 12/2/2009  
Design and Access Statement August 2011  
Energy Statement August 2011  
Arboricultural Survey

**Date Plans Received:** 08/08/2011 **Date(s) of Amendment(s):**

**Date Application Valid:** 25/10/2011

### 1. SUMMARY

The application seeks outline planning permission for the erection of a pair of linked part 2, part 3 storey blocks with accommodation in the roof space, to provide 12 x two bedroom and 1 x three bedroom flats. The proposal involves the demolition of the existing three detached dwellings and all other associated structures on the site. Access, scale, appearance and layout are to be determined at this stage, with landscaping matters reserved.

The application site already benefits from two previous permissions for residential redevelopment to provide 14 flats, on two adjoining plots. These permissions have not yet been implemented. Outline planning permission was also granted in 2009 (Ref. 64345/APP/2008/3572) for 14 flats in two 3-storey buildings (effectively an amalgamation of the 2 previous schemes), in place of all three dwellings. This permission remains extant until February 2012. In addition, outline planning permission was granted on appeal on 25/10/2011, for 14 x two bedroom flats in two blocks, with a 3-storey central

glazed link between them.

In light of the previous history on this site, there is no objection to the principle of flatted development at this location. It is considered that the development could be achieved without adversely affecting the visual amenities of the street scene or surrounding area, particularly having regard for the recent appeal decision for a similar development on this site. Overall, it is considered that the proposed development could potentially provide acceptable living conditions for future occupiers and protect the residential amenity of surrounding residents, subject to conditions.

Subject to the approval of landscaping, which is a matter reserved for future consideration, it is considered that the development would comply with policies in the UDP and the London Plan. As such, it is recommended that the outline application, including details of access, appearance, layout and scale be approved.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Consumer Protection, Sport and Green Spaces, to grant planning permission, subject to the following:**

**1. That the applicant submit a Unilateral Undertaking, or the Council enter into a legal agreement with the applicants under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) or other appropriate legislation to secure:**

**(i) A contribution of £29,166 (£9,700 for primary; £9,2363 for secondary; £10,113 for post-16) school places, to cater for the increased demand placed on existing school places by the proposed development.**

**(ii) A financial contribution in the sum of £6,136.09 (£216.67 per person arising from the development), in order to secure increased/expanded doctors surgery facilities within a 3 mile radius of the site, to meet increased demands arising from the development.**

**(iii) A financial contribution of £216.67 (equating to £23 per person), to improve local library and other community facilities in order to meet increased demands arising from the development.**

**(iv) A financial contribution towards construction training, equal to £2,500 for every £1 million of build costs.**

**(v) A project management and monitoring fee of 5% of the total cash contributions for the management and monitoring of the resulting agreement (in the event that a S106 Agreement is completed).**

**2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of any S106 Agreement and any abortive work as a result of the agreement not being completed.**

**3. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.**

**4. If the Unilateral Undertaking has not been completed in a satisfactory form by the 20 January 2011, or alternatively, if a S106 Agreement has not been finalised by**

the 20 January 2011, the application be refused for the following reason:

The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, libraries and construction and employment training facilities). The proposal therefore conflicts with Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies September 2007.

**1 OUT1 Time Limit- outline planning application**

The development hereby permitted shall begin either before the expiration of three years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

REASON

To comply with Section 92 of the Town and Country Planning Act 1990 (As Amended)

**2 OUT2 Reserved matters - submission**

Application for approval of the following reserved matters shall be made to the Local Planning Authority before the expiry of three years from the date of this permission: -

(a) Landscaping

REASON

To comply with Section 92 of the Town and Country Planning Act 1990 (As Amended).

**3 OUT3 Approval of Details**

Approval of the details of the landscaping of the site (hereinafter called the "reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990 (As Amended).

**4 OUT4 Reserved matters - submission and approval**

Plans and particulars of the reserved matters referred to in condition 2 shall be submitted in writing to the Local Planning Authority and shall be carried out as approved.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990 (As Amended).

**5 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

## REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **6 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with

BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

## REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

### **7 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.



## REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **8 TL4 Landscaping Scheme (outline application)**

The development hereby permitted shall be landscaped and planted in accordance with a fully detailed scheme to be submitted to and approved in writing by the Local Planning Authority as part of the details of the proposed development required by condition No. 2.

The scheme shall include:-

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following:-

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

## REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **9 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**10 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**11 TL8 Screen Planting**

The screen planting and/or hedges shown on the approved landscaping scheme shall be allowed to grow to and thereafter be maintained at a minimum height of 1.5 metres and any gaps which may occur shall be filled with replacement planting of a similar size and species within the next planting season or such other period as may be agreed in writing by the Local Planning Authority.

REASON

In order to preserve and enhance the visual amenities of the locality in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**12 OM1 Development in accordance with Approved Plans**

Except as required by other conditions in this permission, the development hereby permitted shall be carried out in accordance with the following approved plans: FSW10-725-050, 051, 052 Rev. A, 053, 054 Rev. A, 056 Rev. A, 057 Rev. A, 58 Rev. A, 110 Rev. A, 111 Rev. A, 115 Rev. A, 116, 125, 126, 127, 130, 132 and 151-sk, unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**13 OM13 Demolition Protocols**

The applicant is to prepare a selective programme (or demolition protocol) to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed from the site safely and intact for later re-use or processing, which is to be submitted to the Local Planning Authority prior to the commencement of demolition work.

REASON

To establish an 'audit trail' for demolition materials based on an established Demolition Protocol which will encourage more effective resource management in demolition and new builds, in accordance with London Plan (July 2011) Policy 5.20

**14 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.
- (viii) Tree protection, which includes provision for site supervision and monitoring

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

#### REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

#### **15 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **16 M3 Boundary treatment - details**

Notwithstanding the submitted plans, no development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the buildings are occupied or in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

#### REASON

To safeguard the visual amenities of the area in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### **17 MCD10 Refuse Facilities**

Notwithstanding the submitted plans, no development shall take place until details of covered, secure and screened storage of refuse and recycling at the premises have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with

the approved details and thereafter the facilities shall be permanently retained.

REASON

In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (2011) Policy 7.1.

**18 H11A Visibility Splays**

Unobstructed sight lines above a height of 1 metre shall be maintained on both sides of the entrance to the site, for a distance of at least 2.4m in both directions along the back edge of the footway or verge.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**19 H12 Closure of Existing Access**

The existing vehicular access at the site, shall be closed, the dropped kerb removed and the footway reinstated to match the adjoining footway within one month of the new access hereby approved being completed.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**20 H15 Cycle Storage - In accordance with approved plans**

Notwithstanding the submitted plans, no development shall take place until details of covered, secure and screened cycle storage for 13 bicycles at the development have been submitted to and approved in writing by the Local Planning Authority. Thereafter, these facilities shall be permanently retained on site and be kept available for the use of cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**21 OM14 Secured by Design**

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote

the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, and to reflect the guidance contained in Circular 5/94 'Planning Out Crime' and the Council's SPG on Community Safety By Design.

**22 NONSC Importation/Utilisation of clean soil**

All soils used for gardens and/or landscaping purposes shall be clean and free of contamination. Site derived soils and imported soils shall be tested for chemical contamination, and the results of this testing shall be submitted and approved by the Local Planning Authority.

**REASON**

To ensure that all soil utilised within the landscaped areas are free from contaminants and do not pose a risk to human health in compliance with Policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**23 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**24 NONSC Noise mitigation air source heat pumps**

No air source heat pumps shall be used on the site until a scheme for the control of noise emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

**REASON**

To safeguard the amenity of the surrounding area in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 7.15 of the London Plan.

**25 DIS5 Lifetime Homes & Wheelchair Standards**

No development shall take place until satisfactory details have been submitted to the Local Planning Authority demonstrating that all residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Furthermore, 10% of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Hillingdon Design and Accessibility Statement: Accessible Hillingdon'. The development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (2011) Policies 3.8, 7.1 and 7.5.

H6

~~26~~ Notwithstanding the ~~completing provisions of details~~ ~~submission of details~~ shall not be commenced until details of the parking arrangements have been submitted to and approved in writing by the Local Planning Authority; and the development shall not be occupied until the approved arrangements have been implemented. Two disabled car-parking bays shall be provided which shall be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.

REASON

To ensure that adequate facilities are provided in accordance with Policies AM14, AM15 and the parking standards as set out in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

**27 NONSC Non Standard Condition**

No impact piling shall take place until a piling method statement (detailing the type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water or sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with the relevant water or sewerage undertaker. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

REASON

The proposed works will be in close proximity to underground water and sewerage utility infrastructure. Piling has the potential to impact on local underground water and sewerage utility infrastructure, in accordance with Policy 5.15 of the London Plan.

**28 NONSC Non Standard Condition**

Prior to the commencement of development a detailed energy assessment shall be submitted to and approved in writing by the local authority. The assessment shall set out the baseline (2010 building regulations) energy demand for each unit, the details of how each unit contributes to an overall 25% reduction carbon emissions, the types of technology to be used, the impact of the technologies on the baseline, the phasing of the technology and finally plans and elevations showing inclusion of the technology. The development shall proceed in accordance with the approved scheme.

Reason

To ensure the development contributes to a reduction in carbon emissions in accordance with London Plan Policy 5.2.

**29 NONSC Non Standard Condition**

Prior to the commencement of development a scheme for the reduction in potable water use including the harvesting and recycling of grey and rain water shall be submitted to and approved in writing by Local Planning Authority. The scheme shall clearly set out how collected water will be reused in areas where potable water is not required, i.e. toilet flushing and irrigation of landscaped areas. The scheme shall also demonstrate how the development will achieve a water demand level of 105 litres per person per day. The development must proceed in accordance with the approved scheme.

Reason

To ensure the development reduces the pressure on potable water in accordance with Policy 5.15 of the London Plan.

**30 NONSC Non Standard Condition**

Prior to the commencement of development an ecological enhancement plan shall be submitted to and approved by the Local Planning Authority. The scheme shall include details for replacing the lost value of dead or decaying trees which generally provide high value habitat for some protected species, e.g. bats and stag beetles. The plan shall set out the types and locations of the measures to be undertaken to allow the development to provide enhancements to flora and fauna (e.g. bat and bird boxes, as well as areas of extensive landscaping designed for wildlife enhancements). The development shall proceed in accordance with the approved plan.

Reason

To ensure the development can meet the aims of PPS9 and Policies 5.3 and 7.19 of the London Plan by delivering biodiversity enhancements.

**31 NONSC Non Standard Condition**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly detail the type of SUDS, information on the soil characteristics and the suitability of infiltration methods, areas required for storage, run-off rates and maintenance arrangements. The use of living walls and roofs should also be considered. The development shall proceed in accordance with the approved scheme.

Reason

To prevent the increased risk of flooding in accordance with PPS25 and Policy 5.13 and to increase water efficiency in accordance with Policy 5.15 of the London Plan.

**32 NONSC Non Standard Condition**

Details of external lighting within the site shall be submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and illumination. No floodlighting or other external lighting should be installed without the prior written approval of the Local Planning Authority.

REASON

To ensure the safety and security of occupants while safeguarding the amenity of surrounding properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**INFORMATIVES**

**1 I1 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

**2 I11 The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and

safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

**3 I12 Notification to Building Contractors**

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

**4 I13 Asbestos Removal**

Demolition and removal of any material containing asbestos must be carried out in accordance with guidance from the Health and Safety Executive and the Council's Environmental Services. For advice and information contact: - Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277401) or the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (Tel. 020 7556 2100).

**5 I15 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays or Bank Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**6 I18 Storage and Collection of Refuse**

The Council's Waste Service should be consulted about refuse storage and collection arrangements. Details of proposals should be included on submitted plans.

For further information and advice, contact - the Waste Service Manager, Central Depot - Block A, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB8 3EU (Tel. 01895 277505 / 506).

**7 I19 Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service



regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.  
Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**8**            I2                    **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

**9**            I23                    **Works affecting the Public Highway - Vehicle Crossover**

The development requires the formation of a vehicular crossover, which will be constructed by the Council. This work is also subject to the issuing of a separate licence to obstruct or open up the public highway. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

**10**          I23A                  **Re-instatement of a Vehicle Access.**

You are advised by London Borough of Hillingdon, Highways Management, that any works on the Highway, in relation to the reinstatement of any existing vehicle access, must be carried out with approval from the Highway Authority. Failure to reinstate an existing vehicle access will result in the Highway Authority completing the works, and the developer may be responsible for the costs incurred. Enquiries should be addressed to: Highways Maintenance, 4W/07, Civic Centre, Uxbridge, UB8 1UW.

**11**          I3                      **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**12**          I33                    **Tree(s) Protected by a Tree Preservation Order**

Within the application site there are trees that are subject of a Tree Preservation Order (TPO). You are advised that no tree that is the subject of a TPO may be lopped, topped, felled or uprooted without the permission of the Local Planning Authority. Please contact the Trees and Landscapes Officer, Planning & Community Services, 3N/02, Civic Centre, Uxbridge, UB8 1UW for further advice.

**13**          I34                    **Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

**14**      I45                      **Discharge of Conditions**

Your attention is drawn to condition(s) 3, 5, 7, 10, 13, 14, 15, 16, 17, 20, 21, 23, 25, 27, 28, 29, 30, and 31 which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of this/these condition(s). The Council may consider taking enforcement action to rectify the breach of this condition(s). For further information and advice contact - Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250230).

**15**      I46                      **Renewable Resources**

To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.

**16**      I47                      **Damage to Verge**

You are advised that care should be taken during the building works hereby approved to

ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

#### **17 I5 Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

#### **18 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### **19 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of

	new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
LPP 3.12	(2011) Negotiating affordable housing (in) on individual private residential and mixed-use schemes
LPP 3.8	(2011) Housing Choice
LPP 5.13	(2011) Sustainable drainage
LPP 5.15	(2011) Water use and supplies
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.19	(2011) Biodiversity and access to nature
POBS	Planning Obligations Supplementary Planning Document, July 2008
PPG13	Transport
PPS1	Delivering Sustainable Development
PPS3	Housing
PPS9	Biodiversity and Geological Conservation

## **20 I55 Audit Trail**

To encourage more effective resource management in demolition and new builds, it is recommended that you establish an 'audit trail' for demolition materials based on an established demolition protocol. The protocol should demonstrate that the most valuable or potentially contaminating materials and fittings can be removed from the site safely and intact for later re-use or processing.

## **21 I58 Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

## **22 I6 Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

## **23 I9 Community Safety - Designing Out Crime**

Before the submission of reserved matters/details required by condition 21, you are advised to consult the Metropolitan Police's Crime Prevention Design Advisor, Planning &

Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel. 01895 250538).

## **24**

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777. This is to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.

## **25**

Where a developer proposes to discharge groundwater into a public sewer, a groundwater discharge permit will be required. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation.

Groundwater permit

enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 8507 4890

or by emailing [wwqriskmanagement@thameswater.co.uk](mailto:wwqriskmanagement@thameswater.co.uk). Application forms should be completed on line

via [www.thameswater.co.uk/wastewaterquality](http://www.thameswater.co.uk/wastewaterquality). Any discharge made without a permit is deemed illegal

and may result in prosecution under the provisions of the Water Industry Act 1991.

## **26**

The applicant is advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the details of the piling method statement.

## **27**

In seeking to discharge condition 25, the following advice should be taken into consideration:

1. Good practice recommends that communal car parks, as part of a Lifetime Home development, should provide at least one accessible parking space within each zone / lift core. The accessible bay should provide an effective clear width of 3300 mm (3600 mm preferred). Furthermore, the parking layout and landscape design should be conducive to Lifetime Home principles and allow for further accessible parking bays to be created according to demand.

2. The scheme should incorporate at least one dwelling designed in accordance with the Wheelchair Home Standards.

3. To support the Secured by Design agenda, accessible car parking bays should be allocated to a specific unit, allowing a disabled occupant to choose whether the bay is marked.

4. Due to their split-level design, the proposed ground floor units are not conducive to the principles of Lifetime Home accommodation. However, provided it can be demonstrated that a suitable wheelchair platform lift, to provide convenient access down to the bedrooms, could be sourced and retrospectively installed without the need for post-construction material alterations to the building, the design would be satisfactory.

5. The passenger lift shown on plan appears not to comply with Part M to the Building Regulations 2000 (2004 edition). The lift car should provide internal dimensions of 1100 mm wide by 1400 mm deep. Such detail is crucial to provide adequate access for wheelchair users and confirmation of compliance should be sought prior to any grant of planning permission.

6. A minimum of one bathroom designed in accordance with Lifetime Home standards detailed should provide at least 700mm to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite.

7. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gully drainage.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application site, which is 0.27 hectares in extent, comprises three individual detached houses, located on the south-east side of Ducks Hill Road. The properties have front and rear gardens. Both 103 and 105 Ducks Hill Road share a common driveway, while 107 has an in-out driveway.

The surrounding area is characterised by a mix of detached houses on substantial plots and recent flatted development. To the north of the site are blocks of flats (Oak House and Elm House).

The site has no special designation and there are no Conservation Areas or Listed buildings in the vicinity. However, the site and surrounding properties are affected by Tree Preservation Order No. 281 and the area is characterized by mature trees.

#### **3.2 Proposed Scheme**

Outline planning permission is sought for the erection of a pair of linked part 2 part, 3 storey blocks with accommodation in the roof space, to provide, 12 two-bedroom and 1 three-bedroom apartments. The proposal involves the demolition of the existing three detached dwellings and all other associated structures on the site. Access, scale, appearance and layout are to be determined at this stage, with landscaping matters reserved.

The current scheme seeks to amend outline planning permission ref: 64345/APP/2008/3572. The design approach is to create two individually detailed buildings separated by a subordinate partly glazed link.

The total width of the combined blocks is approximately 39 metres and varies in depth between 14.5 and 18 metres. The building is set back 1.1 metres off the northern boundary and 3.8 metres off the southern boundary.

Given the sloping nature of the site and proposed excavations, the maximum ridge height of the blocks is 10.6 metres at the front and 12 metres at the rear. The building would be set back approximately 19 metres from the road frontage, with car parking for 23 cars and bin storage located at the front of the building. All trees of merit are proposed to be retained as part of the development. Secure cycle storage is provided in a separate detached structure at the rear of the building.

The application is supported by a number of reports that assessed the impact of the proposal. A summary and some key conclusions from these reports are provided below:

#### Design and Access Statement

This report outlines the context for the development and provides a justification for the design, number of units, layout, scale, landscaping, appearance and access for the proposed development. The report also provides a summary of the proposals and assesses them against policy considerations.

#### Arboricultural Method Statement

The statement was prepared to ensure good practice in the protection of trees during the construction and post construction phases of the development.

#### Energy Statement

The sustainability credentials of the scheme were assessed in respect of renewable energy resources.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

36739/APP/2005/655. Planning permission was granted on 19/5/2005 for a two storey block of five x 2 bedroom and one x 1 bedroom flats at 107 Ducks Hill Road (involving the demolition of the existing dwelling). The design incorporated accommodation in the roof space and frontage car parking served by a single access.

62513/APP/2006/3462. Planning permission was granted on 12/3/2007 for a three storey building with lower ground floor and roof space accommodation, providing 6 x three bedroom and 2 x two bedroom flats at 103 and 105 Ducks Hill Road (involving the demolition of the existing dwellings).

64345/APP/2008/1014. Outline planning permission was refused on 3/9/2008 for the erection 14 flats involving the demolition of 103,105 and 107 Ducks Hill Road. The reasons for the Council's refusal of this application were that the applicant had failed to demonstrate that the lack of affordable housing proposed was justified and the failure of adequate provision, through planning obligations, for contributions towards education and community facilities.

64345/APP/2008/3572. Outline planning permission was approved on 25/2/2009 on the amalgamated site, for the erection 14 flats involving the demolition of 103, 105 and 107 Ducks Hill Road.

64345/APP/2009/1590. Outline planning permission was refused on 5/11/2009 for the erection of 2 x three storey blocks with roof space accommodation, connected by a communal services link, to provide 14 x two bedroom flats. The reasons for the Council's

refusal of this application were:

1. The proposed development, by reason of its design, layout, scale, proportions and massing, would result in a cramped, unduly intrusive, visually prominent and inappropriate form of development.
2. The proposed development fails to provide acceptable living conditions for future occupiers
3. The proposed development fails to protect the residential amenity of surrounding residents.
4. The application has not demonstrated that satisfactory energy conservation and carbon dioxide emissions reduction measures have been incorporated into the layout and design
- 5 The failure of adequate provision, through planning obligations, for contributions towards education and community facilities.

64345/APP/2010/2782, Outline planning permission for the erection of 14 flats involving demolition of 103, 105 and 107 Ducks Hill Road (amendment to outline planning approval 64345/APP/2008/3572 dated 27/2/2009) was refused on 7/3/2011. The reasons for the Council's refusal of this application were:

1. The proposed development, by reason of its design, layout, scale, proportions and massing, would result in a cramped, unduly intrusive, visually prominent and inappropriate form of development
2. The proposed development fails to provide acceptable living conditions for future occupiers
3. The proposed development fails to protect the residential amenity of surrounding residents.
4. The failure of adequate provision, through planning obligations, for contributions towards education and community facilities.

This application was the subject of an appeal which was allowed on 26 October 2011.

A S73 application (ref:64345/APP/2011/2068) was submitted in 2011, seeking to extend the period of implementation of outline planning permission 64345/APP/2008/3572 dated 27/2/2009, for the development of the site to provide 14 flats, comprising 1 x one bedroom, 7 x two bedroom and 6 x three bedroom units. This application was withdrawn by the applicants on 28/10/2011, following their successful appeal (referred to above).

#### **4. Planning Policies and Standards**

Planning Policy Statement 1 (Delivering Sustainable Development)  
Planning Policy Statement 3 (Housing)  
Planning Policy Statement 9: Biodiversity and Geological Conservation  
Planning Policy Guidance Note 13 (Transport)  
Planning Policy Guidance Note 24 (Planning and Noise)  
The London Plan (2011)  
HDAS Supplementary Planning Document: Residential Layouts  
HDAS Supplementary Planning Document: Accessible Hillingdon  
Supplementary Planning Document: Planning Obligations  
Supplementary Planning Guidance: (Noise)

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:



Part 2 Policies:

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
LPP 3.12	(2011) Negotiating affordable housing (in) on individual private residential and mixed-use schemes
LPP 3.8	(2011) Housing Choice
LPP 5.13	(2011) Sustainable drainage
LPP 5.15	(2011) Water use and supplies
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.19	(2011) Biodiversity and access to nature
POBS	Planning Obligations Supplementary Planning Document, July 2008
PPG13	Transport
PPS1	Delivering Sustainable Development
PPS3	Housing
PPS9	Biodiversity and Geological Conservation

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **15th November 2011**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

A total of 110 surrounding property owners/occupiers have been consulted and the application was advertised as a development likely to be of wider concern.

3 responses have been received objecting to the proposal for the following reasons:

- i) Increased demands on local facilities and services, such as drainage.
- ii) Increased traffic generation on Ducks Hill Road.
- iii) The excavation so close to our building will negatively impact on our foundations.
- iv) The building so close to ours will cut off the natural light into our side windows.
- v) We would like more space provided on the side of our boundary before excavation and building.
- vi) The architectural quality of the facades will be bland.

NORTHWOOD RESIDENTS' ASSOCIATION: No response.

### **METROPOLITAN POLICE**

No objections, subject to adequate perimeter treatment and demarcation of private and communal amenity areas.

HILLINGDON PRIMARY CARE TRUST (PCT): No response.

### **THAMES WATER**

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required.

No impact piling shall take place until a piling method statement (detailing the type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water or sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with the relevant water or sewerage undertaker. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground water and sewerage utility infrastructure. Piling has the potential to impact on local underground water and sewerage utility infrastructure.

The applicant is advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the details of the piling method statement.

Where a developer proposes to discharge groundwater into a public sewer, a groundwater discharge permit will be required. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation.

Groundwater permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 8507 4890 or by emailing [wwqriskmanagement@thameswater.co.uk](mailto:wwqriskmanagement@thameswater.co.uk). Application forms should be completed on line via [www.thameswater.co.uk/wastewaterquality](http://www.thameswater.co.uk/wastewaterquality). Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991.

With regard to water supply, this comes within the area covered by the Veolia Water Company.

### **Internal Consultees**

#### **ENVIRONMENTAL PROTECTION UNIT**

No objections are raised to this proposal. Should planning permission be granted the following conditions are recommended:

A Condition requiring a scheme for protecting the proposed development from road traffic is recommended.

A condition requiring details of external lighting is recommended.

Noise from proposed Air Source Heat Pumps:

The rating level of the noise emitted from the plant and equipment hereby approved shall be at least 5dB lower than the existing background noise level. The noise levels shall be determined at the nearest residential premises in accordance with British Standard 4142, Method for rating industrial noise affecting mixed residential and industrial areas .

REASON To protect the amenity of the surrounding area.

Informative

Please add the standard Construction informative.

#### **HIGHWAY ENGINEER**

Given the previous extant permissions, no objection subject to conditions.

#### **URBAN DESIGN OFFICER**

BACKGROUND: This proposal has been created following discussions in relation to a previous design for two larger blocks linked with a fully glazed staircase block, a scheme eventually allowed at appeal.

The current scheme is considered to be an improvement on the previous scheme in a number of important ways. Instead of a fully glazed link, the two blocks would be linked by a recessed, clay roofed section, which is considered much more in keeping with the architecture of the area. Instead of the bulbous half hipped roofs and asymmetrical roof construction, the roof forms would be hipped and symmetrical, which would enhance the appearance of the whole development. Also, the previously over-wide footprint of the development would be reduced to allow greater distance from neighbours, and a softer planted edge to the side boundaries.

The Design and Access Statement refers to the Metroland design, of clay tiles and brick, rather

than a return to the previous, neo-Georgian, design, and this is to be commended. It will be important however to enhance this good, strong design with detailing predominantly of brick, rather than of the uncharacteristic white stone, used elsewhere on Neo-Georgian houses in the road.

RECOMMENDATIONS: Acceptable.

#### EDUCATION DIRECTORATE

An education contribution of £29,166 is sought (Primary - £9,790, Secondary- £9263 and post secondary - £10,113)

#### S106 OFFICER

Proposal:

6 x 2 bed flats (with 4 habitable rooms)

6 x 2 bed flats (with 5 habitable rooms)

1 x 3 bed flat (with 6 habitable rooms)

Existing: 3 x 3 bed houses (with 5 habitable rooms) - discounted from the proposal for the purposes of education only.

Total resulting population: 28.32

Proposed Heads of Terms:

1. Education: a financial contribution in the sum of £29,166.
2. Health: a financial contribution in the sum of £6,136.09 (£216.67 x 28.32)
3. Libraries: a financial contribution in the sum of £651.36 (£23 x 28.32)
4. Construction Training: a financial contribution equal to £2,500 for every £1million build cost +  $(13/160 \times £71,675) = \text{total contribution.}$

In line with the inspectors recent decision (case number APP/R5510/A/11/2153688) I would like either a Unilateral Undertaking (UU) in exactly the same form (figures amended to align with this proposal) as that which was agreed for the appeal scheme. Alternatively the applicant enter into a formal s106 agreement with the Council to address the planning obligations as sought above. In the latter case a project management and monitoring fee of 5% of the total cash contributions for the management and monitoring of the resulting agreement would be sought.

#### WASTE STRATEGY MANAGER

a) I would estimate the waste arising from the development to be as shown below:

Total Weekly Waste Arising 2,240 litres. This waste would therefore be accommodated in a total of 2 bulk bins. Initially all bulk bins on site would be for residual waste; then one of these could be exchanged for recycling at a latter date, or an additional recycling bin added.

b) The bin enclosures must be built to ensure there is at least 150mm clearance in between the bulk bins and the walls of storage area. The size and shape of the bin enclosures must also allow good access to bins by residents, and if multiple bins are installed for the bins to be rotated in between collections.

c) Arrangements should be made for the cleansing of the bin store with water and disinfectant. A

hose union tap should be installed for the water supply. Drainage should be by means of trapped gully connected to the foul sewer. The floor of the bin store area should have a suitable fall (no greater than 1:20) towards the drainage points.

d) The material used for the floor should be 100mm thick to withstand the weight of the bulk bins. Ideally the walls of the bin storage area should be made of a material that has a fire resistance of one hour when tested in accordance with BS 472-61.

e) The gate/door of the bin stores need to be made of either metal, hardwood, or metal clad softwood and ideally have fire resistance of 30 minutes when tested to BS 476-22. The door frame should be rebated into the opening. Again the doorway should allow clearance of 150mm either side of the bin when it is being moved for collection. The door(s) should have a latch or other mechanism to hold them open when the bins are being moved in and out of the chamber.

f) Internal bin chambers should have appropriate passive ventilators to allow air flow and stop the build up of unpleasant odours. The ventilation needs to be fly proofed.

g) The collectors should not have to cart a 1,100 litre bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard).

h) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the storage area is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.

#### General Points

i) The value of the construction project will be in excess of £300,000, so the Site Waste Management Plans Regulations 2008 apply. This requires a document to be produced which explains how waste arising from the building works will be reused, recycled or otherwise handled. This document needs to be prepared before the building work begins.

j) The client for the building work should ensure that the contractor complies with the Duty of Care requirements, created by Section 33 and 34 of the Environmental Protection Act.

#### ACCESS OFFICER

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted January 2010.

The scheme should be revised and compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan. In addition, 10% of new housing should be built to wheelchair home standards and should accord with relevant policies, legislation and adopted guidance.

The following access observations are provided:

1. Good practice recommends that communal car parks, as part of a Lifetime Home development, should provide at least one accessible parking space within each zone/lift core. The accessible bay should provide an effective clear width of 3300mm (3600 mm preferred). Furthermore, the parking layout and landscape design should be conducive to Lifetime Home principles and allow for further accessible parking bays to be created according to demand.

2. The scheme should be revised to incorporate at least one dwelling designed in accordance with the Wheelchair Home Standards as specified in the above mentioned Supplementary Planning

Document. As the application proposes only a single lift, the required unit built to Wheelchair Home Standards should be incorporated on the ground floor.

3. To support the Secured by Design agenda, accessible car parking bays should not be marked. Car parking spaces should be allocated to a specific unit, allowing a disabled occupant to choose whether the bay is marked.

REASON: Bays that are not allocated would not guarantee an accessible bay to a disabled resident. Similarly, a disabled person may not necessarily occupy an accessible home allocated a disabled parking space. Marking bays as disabled parking could lead to targeted hate crime against a disabled person.

4. Due to their split-level design, the proposed ground floor units are not conducive to the principles of Lifetime Home accommodation. However, provided it can be demonstrated that a suitable wheelchair platform lift, to provide convenient access down to the bedrooms, could be sourced and retrospectively installed without the need for post-construction material alterations to the building, the design would be satisfactory.

5. The passenger lift shown on plan appears not to comply with Part M to the Building Regulations 2000 (2004 edition). The lift car should provide internal dimensions of 1100mm wide by 1400mm deep. Such detail is crucial to provide adequate access for wheelchair users and confirmation of compliance should be sought prior to any grant of planning permission.

6. A minimum of one bathroom designed in accordance with Lifetime Home standards detailed in the above Supplementary Planning Document should provide at least 700mm to one side of the WC, with 1100mm provided between the front edge of the toilet pan and a door or wall opposite.

7. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gulley drainage.

The Design & Access Statement should be revised to confirm adherence to all 16 Lifetime Home and Wheelchair Housing standards.

(Officer note: An almost identical scheme has already been allowed on appeal, subject to conditions. It is considered that the above mentioned issues can be similarly be addressed by a suitably worded condition).

#### TREE AND LANDSCAPE OFFICER

The significant trees, including a number of mature Oak trees and trees forming part of the fringe of the belt of Oak-Hornbeam woodland (on the Copsewood Estate) on the site protected by TPO 281. The previously approved schemes for the redevelopment of 103-105, and 107 Ducks Hill Road, including that scheme allowed on appeal on 26 October 2011, made provision for the long-term retention of those trees considered to be features of merit in terms of Saved Policy BE38 of the UDP.

The application includes a tree survey to BS 5837:2005, which includes a preliminary appraisal of the arboricultural implications of the proposed scheme. There is reference in the survey to an Arboricultural Implications Assessment (AIA), but this information is not available, nor is a site survey (as this information does not seem to have been submitted with the application).

The proposed 'layout' of the blocks and 'access' to them are acceptable, as the scheme makes provision for the long-term retention of the protected trees of merit in relation to these main elements. However, it is not possible to assess the scheme in terms of the proposed 'layout' of the

front of the site, including parking areas and bin/cycle stores, in relation to protected Oak trees, because of the lack of tree protection and levels information (and sections), specifications and construction methodology, the AIA, and a method statement (to BS 5837:2005).

Given that all matters, except landscaping are to be determined at this stage of the planning process, it would be preferable for this vital, detailed, tree-related information to be provided. However, if it is not provided at this stage, this element (the 'layout' of the front of the site) of the scheme would, therefore, have to be considered in detail at a later stage in the planning process (controlled by planning conditions imposed on any permission that may be granted - see the full list below). If it is provided as part of this application, this advice and the list of suggested tree and landscape-related conditions would have to be reviewed before the case is reported for determination.

Given the planning history of this site (4 approvals), subject to conditions OUT2 (d), OUT3, OUT4, TL1, TL2, TL3, TL4, TL6, TL7, TL8 [...1.5m...], and TL21 [requiring the submission and approval prior to works commencing of a 'demolition, construction and tree protection' method statement, to include provision for site supervision and monitoring, etc.], the outline ('all matters except landscaping') application is acceptable in terms of Saved Policy BE38 of the UDP.

Note: These observations about the outline application (with only landscaping reserved for future consideration) take account of the recent appeal decision and the conditions imposed by the Inspector.

#### SUSTAINABILITY OFFICER

No objections are raised to the proposed development subject to the following:

##### Energy

The submitted energy assessment is not in accordance with the London Plan which was updated in July 2011. This requires a 25% reduction in CO2 from a 2010 Part L baseline. However, the submitted assessment does demonstrate that savings can be achieved although changes to it will be required to demonstrate the development is compliant with the most recent London Plan.

A condition is recommended, requiring a detailed energy assessment setting out the baseline (2010 building regulations) energy demand for each unit, the details of how each unit contributes to an overall 25% reduction carbon emissions, the types of technology to be used, the impact of the technologies on the baseline, the phasing of the technology and finally plans and elevations showing inclusion of the technology.

##### Water Efficiency

The London Borough of Hillingdon is within an area of severe water stress. The extra pressure on potable water supplies is therefore a material consideration and one that needs careful consideration. A condition is therefore recommended, requiring a scheme for the reduction in potable water use, including the harvesting and recycling of grey and rain water.

##### Ecology

A condition is recommended requiring an ecological enhancement plan, to include details the types and locations of the measures to be undertaken to allow the development to provide enhancements to flora and fauna

##### Drainage

A condition is recommended requiring a scheme for the provision of sustainable water management, clearly detailing the type of SUDS, information on the soil characteristics and the suitability of infiltration methods, areas required for storage, run-off rates and maintenance arrangements. The use of living walls and roofs should also be considered.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The site is designated as a Developed Area within the Hillingdon Unitary Development Plan Saved Policies (September 2007) (UDP). The proposal site is located in a predominantly residential area which currently contains terraced and detached dwellings with large back gardens, with a number of sites along Ducks Hill Road having been redeveloped for flatted development.

HDAS Supplementary Planning Document 'Residential Layouts' states that redevelopment of large plots and infill sites currently used for individual dwellings into flats in close proximity to each other is unlikely to be acceptable on any one street. As a guide, redevelopment of more than 10% of properties on a residential street is likely to be unacceptable.

Whilst it is acknowledged that Ducks Hill Road has had a large number of such redevelopments, the principle of flatted development on the application site has already been established by virtue of planning permissions granted for a two storey block of six flats at 107 Ducks Hill Road and for a three storey Block of 8 flats at 103 and 105 Ducks Hill Road and the subsequent outline planning permission for the amalgamated sites. This is a material consideration.

Where planning permission has been previously granted for a similar proposal, but where the development has not been implemented, Local Planning Authorities should consider, based upon robust evidence provided by applicants, whether the site is likely to be developed. There is no presumption that planning permission should be granted because of a previous approval, particularly if the original permission proposal did not deliver policy objectives.

However, it is likely that this site is going to be developed in some form or the other and the extant permissions are considered to be a material consideration. Therefore, there is no objection in principle to the loss of the existing 3 dwellings and their replacement with 13 apartments, subject to compliance with the various Saved Policies of the UDP.

### **7.02 Density of the proposed development**

Density guidelines are provided by the London Plan. These guidelines take into account public transport accessibility, the character of the area and type of housing proposed. The site has a PTAL score of 1a. Taking this into account, the London Plan density guideline is 150-200 hr/ha or 35 to 55 units per hectare (u/ha), within a suburban setting with a low PTAL, at an average of 3.8-4.6 hr/unit.

The 13 units proposed would result in approximately 58 habitable rooms, providing a residential density for the development of 48 units per hectare and 214 habitable rooms per hectare, at 4.46 hr/unit. The proposed scheme would be within the London Plan table 3.2 Density matrix guidelines for units and slightly exceed guidelines for habitable rooms in a suburban location. Provided site specific issues including design, amenity space provision and impact on neighbouring properties are satisfactory, there would be no policy objection to the density proposed.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site does not fall within an archaeological priority area and as such there are no



archaeological issues associated with this development.

#### **7.04 Airport safeguarding**

The application does not conflict with height restriction criteria and no wind turbines are proposed as part of this development.

#### **7.05 Impact on the green belt**

The site does not form part of, nor is it adjacent to the Metropolitan Green Belt.

#### **7.06 Environmental Impact**

No specific contamination issues were noted by the Council's Environmental Protection Unit who, nevertheless, advise that a condition to minimise risk of contamination from garden and landscaped areas should be imposed.

#### **7.07 Impact on the character & appearance of the area**

Saved Policies BE13 and BE19 seek to ensure that new development complements or improves the character and amenity of the area, whilst Policy BE38 seeks the retention of topographical and landscape features and provision of new planting and landscaping in development proposals. The scale, bulk and siting of buildings are key determinants in ensuring that the amenity and character of established residential areas are not compromised by new development.

London Plan Policy 7.1 sets out a series of overarching design principles for development in London and policy 7.6 seeks to promote world-class, high quality design and design-led change in key locations. In addition to Chapter 7, London Plan policies relating to density (34) and sustainable design and construction (5.3) are also relevant.

The current application brings together the sites at 103-105 and 107 Ducks Hill Road and seeks an outline approval, with access, appearance, layout and scale to be determined at this stage, and landscaping identified as reserved matters.

The proposal needs to be considered with regard to the impact on Ducks Hill Road, which is quite varied in terms of the style and size of houses. Properties on this road are mainly detached, and in general the buildings are of good quality and well spaced, giving the area an open character. There are, however, a number of new flatted developments which have begun to erode the scale and quality of the streetscape within the area.

It is considered that the existing properties on the site are of no particular architectural merit and no objections are raised to their loss, subject to a satisfactory scheme to replace these dwellings. However, in terms of its impact on the street scene, the development fills most of the width of the plot. The blocks would be visible from the street in views along the site frontage and in views across the frontage of 111 Ducks Hill Road to the south and Oak House to the north.

There are no objections to the detailed design of the proposed block. However, concerns were previously raised regarding the scale bulk and massing of the proposed development in earlier schemes for this site.

The previously approved schemes for the separate sites proposed development in two blocks. The northern block (103-105) was two storey with a lower ground floor and rooms in the roof space, whilst the southern block (107), was 2 storey with rooms in the roof space. The indicative floor plans and elevations, submitted as part of the subsequently approved outline scheme ref: 64345/APP/2008/3572 for the amalgamated site, showed the envelope of the proposed built form in relation to existing development along this side of Ducks Hill Road. The submitted information demonstrated that the development could

be achieved in two separate blocks, 2.5 metres apart, which would be similar in scale and design to the previously approved schemes and to the existing flat development at Oak House, Elm House and Woodland Heights to the north, and other flat developments within Ducks Hill Road.

In the subsequent refused scheme ref: 64345/APP/2009/1590, the applicant sought to link the blocks with a 3 storey glazed link. The Urban Design Officer raised concerns that the proposed link structure, covered by a roof, would have had a solid ambience, resulting in the two blocks and the link reading as one coherent bulk, resulting in a considerable increase in scale, compared with the consented outline scheme.

With regard to the second refused scheme ref: 64345/APP/2010/2782, which was subsequently allowed on appeal, the Urban Design and Conservation Officer considered that whilst in some respects that design simplified the one previously refused, and reduced the size of the glazed link in between the two blocks, the development would nevertheless be over large, bulky and of an unattractive design. It was not considered that the modifications to the refused scheme had addressed the fundamental concerns regarding bulk and massing of the resultant building, as the linking of the two buildings in this way would create a building of considerable length and bulk, which would be inappropriate in the street scene. The Urban Design and Conservation Officer also noted that the roof forms were little different from those shown in the previously refused scheme, being particularly bulky, with their bulging half hips, and very unattractive with deep crown roofs and flat topped side profiles.

However, the Inspector in allowing this second refused outline scheme took a contrary view, concluding that the 2 wings of the building would be of a different but complementary appearance, designed to give the impression of two large, extended houses. In her opinion, the glazed link would be sufficiently recessed so that that the development would appear as 2 separate buildings in the longer views along Ducks Hill Road. Even in the limited views where it could be seen as a whole, the Inspector was of the view that the development would not be over dominant or intrusive in the street scene or out of keeping with the character and appearance of the area. Views of the front elevation would be filtered by trees along the frontage. These are mainly large oaks which are subject to a tree preservation order and which would be retained. Additional landscaping could be required if the Council felt this to be necessary as landscaping is a reserved matter. This appeal decision is a material consideration.

The current scheme is a modification of the previous scheme allowed on appeal and has been redesigned in an attempt to address concerns raised by the Council. (This application was submitted before the determination of the appeal scheme).

The Urban Design and Conservation Officer considers that the changes to current scheme as outlined below are an improvement on the previous scheme in a number of important ways. The key changes to the previous schemes are summarised below:

- The building has now been designed as two separate forms respecting the bulk and mass of the larger houses in the area. The two forms are linked by a glazed mid section with a tiled roof, instead of a fully glazed link, set lower than the main roofs on either side. This is considered much more in keeping with the architecture of the area.
- The design now incorporates matching hips rather than the previously suggested gable on one side and hip on the other, as it would contribute to the symmetry of the resultant development, reduce the massing and help define the two blocks as separate entities, which would enhance the appearance of the whole development.
- The footprint of the development would be slightly smaller than that already approved

(including the appeal scheme). The previously over-wide footprint of the development would be reduced to allow greater distance from neighbours, and a softer planted edge to the side boundaries.

- The building would be better articulated than in the previous schemes.
- The proposed flank wall adjoining number 111 Ducks Hill Road is now set 2.5m further away from the neighbouring property than the consented schemes. It is considered that this will enhance the feeling of space to the boundary and improve the outlook of the neighbour to the south.
- The roof forms are now designed with full hips, very much respecting the characteristic roof forms in the area. The redesign also allows the maintenance of traditional eaves levels. This addresses a major concern of the Urban Design and Conservation Officer on the previous schemes.
- The proposed front wall adjacent to number 111 Ducks Hill Road is now set 2.1m further back from the highway.
- The proposed rear wall adjacent to number 111 Ducks Hill Road, projects 800mm further back than the approved schemes; however the additional 2.5m off set from the side boundary ensures full compliance with the 45 degree light angle.
- The proposed rear wall adjacent to the neighbouring flats, projects 1.9m less than the approved rear wall.
- Sections of the proposed front wall of the building adjoin the existing flats is set back from the road 1.4m more than the approved scheme.

The Urban Design and Conservation Officer considers the scheme acceptable, subject to appropriate detailing which should be predominantly of brick, rather than the uncharacteristic white stone, used elsewhere on Neo-Georgian houses in the road. Control over external materials can be secured by condition, in the event of an approval.

With regard to the proposed layout at the front of the block, no objections are raised to the car parking layout, subject to the protection of retained trees and additional landscaping, which are secured by condition. It is noted that objections were previously raised to the location of two detached bin stores some 4 metres high on previous schemes, which would be located close to the front boundary of the site. The revised scheme proposes only one structure, with a reduced maximum height of 2.6 metres. This is considered to be an improvement over the approved scheme. A condition is recommended requiring details to be submitted.

Given the history of the amalgamated site and the fall back position of implementing what is considered to be an inferior scheme which was allowed on appeal, it is not considered that the development would be so detrimental to the visual amenity of the street scene, or detract from the visual amenities of the area generally, as to warrant refusal. Overall, it is considered that the development is in accordance with UDP Saved Policies BE13 and BE19, relevant London Plan Policies and supplementary design guidance.

## **7.08 Impact on neighbours**

### **PRIVACY**

Policy BE24 states that development should be designed to protect the privacy of future occupiers and their neighbours. The Council's Supplementary Planning Document HDAS: 'Residential Layouts' also provides further guidance in respect of privacy, stating that adequate distance should be maintained to any area from which overlooking may occur. In particular, that the distance between habitable room windows should not be less than 21 metres distance.

Given the design and layout of the proposed blocks and their distance to adjacent properties to the south east (rear), it is considered unlikely that this would result in an unacceptable impact to properties in Copsewood Way, in relation to loss of privacy. It is noted that the side window openings to three of the dining rooms on both the first and second floor (units 5, 8 and 12) on the previously refused scheme have been removed, thereby addressing potential overlooking issues. Screening could be provided to the rear balconies, which could be secured by condition, in the event of an approval. There are now no windows in either side elevations and it is therefore not considered that the development would cause loss of privacy to adjoining occupiers, in accordance with Policy BE24 of the UDP Saved Policies September 2007.

#### SUNLIGHT/DAYLIGHT

In relation to sunlight, Policy BE20 of the UDP seeks to ensure that buildings are laid out to provide adequate sunlight and preserve the amenity of existing houses. It is considered that the proposed block would be sited to avoid any undue overshadowing or loss of light or to neighbouring properties on either side.

#### OUTLOOK

In relation to outlook, Policy BE21 requires new residential developments to be designed so as to ensure adequate outlook for occupants of the site and surrounding properties. The design guide 'Residential Layouts' advises that for two or more storey buildings, adequate distance should be maintained to avoid over dominance. A minimum distance of 15m is required, although this distance will be dependent on the extent and bulk of the buildings. Given the height and layout of the proposed block, and its distance to adjacent properties to the southeast (Copsewood Way), it is considered unlikely that this would result in an unacceptable impact, in relation to over-dominance.

The current scheme sets the proposed flank wall adjoining number 111 Ducks Hill Road 2.5m further away from the neighbouring property than the consented and appeal schemes. Although the proposed rear wall adjacent to number 111 Ducks Hill Road would project 800mm further back than the approved scheme, it is considered that the additional 2.5m off-set from the side boundary will ensure compliance with the 45 degree angle of vision. It is considered that this is an improvement over the consented and appeal schemes, given that the increased gap to the boundary would enhance the feeling of space to the boundary and improve the outlook on the neighbour.

#### NOISE

Access is to be determined at this stage. It has been demonstrated that it is possible to provide vehicular access to the development without unacceptable impact on the surrounding residents in terms of additional disturbance, in compliance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Polices (September 2007).

#### **7.09 Living conditions for future occupiers**

In relation to outlook and privacy, Policies BE21 and BE24 require new residential developments to be designed so as to ensure adequate outlook and privacy for occupants of the site. In relation to sunlight access, Policy BE20 of the UDP seeks to ensure that buildings are laid out to provide adequate sunlight and preserve the amenity of existing houses.

The siting of the two blocks is approximately the same as for the consented schemes.

Therefore, all of the units could benefit from an acceptable level of privacy, outlook and light.

## AMENITY SPACE

Policy BE23 of the UDP requires the provision of external amenity space, sufficient to promote the amenity of the occupants of the proposed and surrounding buildings, and which is usable in terms of its shape and siting. The Council's Residential Design Document, HDAS, specifies amenity space standards for dwellings.

Given the size of units proposed, 330sq.m of external amenity space would be required to serve the development. While, matters relating to landscaping are reserved, there is approximately 1000sq.m of available space to the rear of the buildings within the proposed layout. Accordingly it is considered that adequate outdoor amenity space can be provided to meet the Council's amenity space standards given in The Hillingdon Design and Accessibility Statement (HDAS) -Residential Layouts.

## INTERNAL LAYOUT

The Hillingdon Design and Accessibility Statement (HDAS): Residential Layouts requires all new residential units to be built to lifetime home standards and 10% of units designed to wheelchair accessible standards. Further guidance is also provided on floor space standards for new residential development to ensure sound environmental conditions are provided on site. As a guide, the recommended minimum standards for 2 bedroom flats is 63sq.m and 81sq.m. for 3 bedroom flats.

The floor plans illustrate that the development would comprise a mixture of two and three bedroom apartments and that the development would achieve HDAS recommended floor space standards. However no specific information has been provided to indicate how lifetime home standards could be met for all the units, this is addressed by condition.

The Council's Environmental Protection Unit has raised no objections to the scheme, subject to conditions, while the scheme's waste management systems and crime prevention measures could be adequately addressed by condition. Overall, it is considered that the proposed development could provide adequate living conditions for all of the proposed units in accordance with Policies BE20, BE23, BE24 and OE1 of the UDP and HDAS: Residential Layouts.

### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Access is to be determined at this stage. The transport statement specifies that access arrangements will be the same as for the consented schemes for 103 and 105 Ducks Hill Road. With respect to 103 and 105 Ducks Hill Road, it is proposed to utilise the access as detailed on planning permission 62513/APP/2006/3462, which will serve 11 parking spaces.

With regard to 107 Ducks Hill Road, one of the existing access points will be closed and a new entrance constructed. This arrangement will serve 12 parking spaces. It is considered that adequate parking and access can be provided for 13 flats, utilising the two entrances without detriment to highway and pedestrian safety, in compliance with Policies AM7, AM14 and AM15 of the UDP. In addition, adequate cycle storage can be provided on the site, in compliance with Saved Policy AM9 of the UDP. The Highway Engineer raises no objections.

### **7.11 Urban design, access and security**

Layout, building bulk and scale, impact on the public realm, private amenity space, amenities created for the future occupiers, siting, design residential living conditions, access and security have been dealt with elsewhere in the report.

## MIX OF UNITS

Policy H4 states that, wherever practicable, new residential developments should have a mix of housing units of different sizes, including units of one or two bedrooms. Policy H5 states that the Council will encourage the provision of dwellings suitable for large families. The proposal would result in the loss of 3 family dwellings. However, it is considered that its replacement with 12 x 2 bedroom and 1 x three bedroom flats satisfactorily offsets this loss, as it would provide a greater number of units and will contribute towards meeting the housing need in the Borough. It is considered that the scheme provides an acceptable mix of units in accordance with the Council's policies.

### **7.12 Disabled access**

HDAS was adopted on the 20th December 2005 and requires all new residential units to be built to lifetime home standards and 10% of units designed to wheelchair accessible standards. The floor plans indicate that the development generally achieves HDAS recommended floor space standards for all of the units and that Lifetime Home Standards could be fully met for 11 of the 13 units.

However, the Access Officer has raised concerns regarding the ground floor flats. The design of the building results in split-level floors within these flats and the communal areas. A design that requires the use of the platform lift to travel in-between what is essentially the same floor is not conducive to Lifetime Home Standards. However the stairs in these units have been designed in order to allow the direct installation of chair lifts and accordingly, have an oversize width and a straight run. In addition, the applicants submit that a key justification for the scheme relates to the fact that the lift will give access to all first and second floor flats, thereby ensuring that 9 of the flats are fully accessible. The gain in ensuring that 9 of the flats are accessible without negotiating steps, it is argued, is considered to outweigh the issue of the ground floor units having internal stairs.

The Access Officer also considers that since the application proposes only a single lift, the required Wheelchair Home Standards unit should be on the ground floor, whereas this scheme proposes the wheelchair unit on the first floor. However, it is noted that this scheme is similar in terms of internal floor layout to the proposal which was recently allowed on appeal. In that scheme, the wheelchair unit was also on the first floor and the Inspector in allowing the appeal, did not regard the issue of providing only one lift as a determining issue.

Any outstanding issues can be secured by condition. Overall, the proposal is considered to be in accordance with London Plan Policies 3.8 and 7.2 and the Hillingdon Design and Accessibility Statement (HDAS): 'Accessible Hillingdon'.

### **7.13 Provision of affordable & special needs housing**

PPS3 states in Para. 73 that when considering applications relating to sites for which planning permission has been previously granted for a similar proposal, but where the development has not been implemented, Local Planning Authorities should consider, based upon robust evidence provided by applicants, whether the site is likely to be developed. There is no presumption that planning permission should be granted because of a previous approval, particularly if the original permission proposal did not deliver the policy objectives of this PPS.

PPS3 also states in paragraph 68 that Local Planning Authorities should take into consideration the policies set out in Regional Spatial Strategies and Development Plan Documents, as the Development Plan, as well as other material considerations. When making planning decisions for housing developments after 1st April 2007, Local Planning Authorities should have regard to the policies in this statement as material considerations which may supersede the policies in existing Development Plans.

The London Plan sets the policy framework for affordable housing delivery in London. Policies 3.10 -3.13 requires that boroughs should seek the maximum reasonable amount of affordable housing when negotiating on individual private residential and mix-use schemes, having regard to their affordable housing targets.

The Planning Obligations Supplementary Planning Document (SPD) adopted in July 2008 replaces the previous Supplementary Planning Guidance and updates the information and requirements of the Affordable Housing SPD adopted in May 2006. Chapter 5 on Affordable Housing from the Planning Obligations SPD paragraph 5.14 of the Planning Obligations SPD states, 'the council will always seek the provision of affordable housing on-site except in exceptional circumstances. The council will consider affordable housing tenure mix on a site by site basis with reference to housing needs, financial viability and/or the London Plan as appropriate.'

Paragraph 5.22 states that the Council will seek the maximum reasonable amount of affordable housing when negotiating on individual private residential and mixed use schemes. The LDF policy acknowledges a balance between the need for affordable housing that the economic viability of private housing developments. Where less than 50% affordable housing is proposed, a justification for the departure from the London Plan and Policy CP5A will be required, together with a financial viability appraisal to demonstrate that the maximum affordable housing provision is being delivered on site. Paragraph 5.30 from the Planning Obligations SPD states that affordable housing should be provided on-site as an integral part of residential development. Off-site provision and payment in-lieu should only be considered in exceptional circumstances and where it meets the overall goal of sustainable and mixed communities in accordance with PPS1. Chapter 5 Affordable Housing from London Borough Hillingdon's Planning Obligations SPD and the National and Regional policies on providing affordable housing will be given considerable weight when assessing this application.

The application exceeds the threshold of 10 units and above, therefore affordable housing provision by way of a S106 Legal Agreement would normally be required. No affordable housing is being offered. However, the current application is supported by a financial viability appraisal, which it is considered, has adequately demonstrated that the provision of affordable housing is not financially viable. Accordingly, it is considered that the lack of provision has been demonstrated in accordance with the requirements of London Plan Policies 3.10 - 3.13.

#### **7.14 Trees, Landscaping and Ecology**

##### **TRES AND LANSCAPING**

In terms of tree retention, the significant trees on the site include a number of mature Oak trees and trees forming part of the fringe of the belt of Oak-Hornbeam woodland, protected by TPO 281. The previously approved schemes for the redevelopment of 103-105, and 107 Ducks Hill Road, made provision for the long-term retention of those trees considered to be features of merit. Layout is being considered at this stage.

The application includes a site survey and tree survey to BS 5837:2005, which includes a preliminary appraisal of the arboricultural implications of the proposed scheme. Given the 2 extant approvals on this site, which are similar in terms of layout to the current submission, it is clear that the development could proceed in an acceptable form, without prejudicing the preservation and long term protection of trees deemed worthy of retention.

The Tree Officer considers that the proposed layout of the blocks and access to them are acceptable, as the scheme makes provision for the long-term retention of the protected trees of merit in relation to these main elements. However, it is not possible to assess the scheme in terms of the proposed layout of the front of the site, including parking areas and bin/cycle stores, in relation to protected Oak trees, because of the lack of tree protection and levels information, specifications and construction methodology. It is therefore considered that this part of the scheme should be considered in detail at the later reserved matters stage and be controlled by planning conditions.

The Tree and Landscape Officer considers that given the planning history of this site, subject to standard landscaping conditions and a condition requiring a demolition, construction and tree protection method statement, there is no objection to the application in terms of saved Policy BE38 of the UDP.

## ECOLOGY

The application site is amenity garden area with no ecological interest. There is no evidence of the presence of protected species and the application site itself has no designation for nature conservation interest. Nevertheless, the site and surrounding area is sylvan in nature. Given the more intensive use of the site, a condition is recommended requiring details of the measures to be undertaken to allow the development to provide enhancements to flora and fauna, as well as areas of extensive landscaping designed for wildlife enhancements. Subject to this condition, it is considered that the development would meet the aims of PPS9 and Policies 5.3 and 7.19 of the London, by delivering biodiversity enhancements.

### **7.15 Sustainable waste management**

The scheme's waste management systems could be adequately addressed at reserved matters stage.

### **7.16 Renewable energy / Sustainability**

The applicant has submitted a renewable energy assessment as part of the application. The report addresses how to reduce carbon emissions and sets out the most suitable and viable forms of renewable energy generators for the scheme. It sets out that the air source heat pump option is the preferred technology to deliver the renewables target for the scheme and that this option offers potential savings of 24.8%. However, the detailed baseline carbon emissions and proposed measures for reduction of CO2 emissions from renewable technologies would need to be demonstrated.

It is noted that the submitted energy assessment is not in accordance with the London Plan, which was updated in July 2011. This requires a 25% reduction in CO2 from a 2010 Part L Building Regulations baseline. However, the submitted assessment does demonstrate that savings can be achieved, although changes to the energy assessment will be required to demonstrate the development is compliant with the most recent London Plan.

A condition is therefore recommended, requiring the submission of an assessment, setting out the baseline (2010 building regulations) energy demand for each unit, the



details of how each unit contributes to an overall 25% reduction carbon emissions, the types of technology to be used, the impact of the technologies on the baseline, the phasing of the technology and finally plans and elevations showing inclusion of the technology.

A condition is also recommended requiring a scheme for the reduction in potable water use, including the harvesting and recycling of grey and rain water.

Subject to compliance with these conditions, it is considered that the scheme will have satisfactorily addressed the issues relating to the mitigation of and adaptation to climate change and to minimising carbon dioxide emissions, in compliance with relevant London Plan (2011) policies.

#### **7.17 Flooding or Drainage Issues**

There are no specific flood related issues associated with this development. However, a condition is recommended requiring the submission of a scheme for the provision of sustainable water management, clearly detail the type of sustainable urban drainage (SUDS), information on the soil characteristics and the suitability of infiltration methods, areas required for storage, run-off rates and maintenance arrangements.

#### **7.18 Noise or Air Quality Issues**

The Environmental Protection Unit has recommended that a noise mitigation scheme will be required, in the event that air source heat pumps is the renewable energy technology chosen for the site. This has been secured by condition.

The Inspector in allowing the recent appeal did not consider it necessary to impose conditions requiring insulation from road noise, as there is no evidence to show that noise from traffic on Ducks Hill Road is such that special attenuation measures should be required.

#### **7.19 Comments on Public Consultations**

With regard to point i), increased demands on community infrastructure identified as arising from the development will be appropriately met through the provision of planning obligations. It is not considered that, in this case, the proposal would place undue demand on local drainage facilities, subject to the condition recommended by Thames Water, which seeks to protect underground infrastructure from piling activities.

Concern iii) relates to impact on the foundations of adjoining buildings. This matter is controlled under Building Regulations.

Issues ii), iv) and v) have been addressed in the body of the report.

#### **7.20 Planning Obligations**

Policy R17 of the Hillingdon UDP is concerned with securing planning obligations to supplement the provision of amongst other things, community and educational facilities. This UDP Policy is supported by the Council's Supplementary Planning Document on Planning Obligations.

In connection with this proposal and following an assessment by Education Services, a contribution of £29,166 (£9,700 for primary; £9,2363 for secondary; £10,113 for post-16) school places is considered appropriate in order to cater for the increased demand placed on existing school places by the proposed development is sought.

A financial contribution in the sum of £6,136.09 (£216.67 per person arising from the development), in accordance with the Council's Supplementary Planning Document is

considered appropriate, in order to secure increased/expanded doctors surgery facilities within a 3 mile radius of the site, to meet increased demands arising from the development.

A financial contribution of £216.67 (equating to £23 per person) is sought, in line with the Council's Supplementary Planning Document, to improve local library and other community facilities in order to meet increased demands arising from the development.

A financial contribution is sought towards construction training, equal to £2,500 for every £1 million of build costs is appropriate to be contributed towards construction training initiatives within the borough, in accordance with Supplementary Planning Document.

In the event of a S106 Agreement being entered into, a project management and monitoring fee of 5% of the total cash contributions for the management and monitoring of the resulting agreement

The applicant has agreed to the proposed level of contributions, which is to be secured by way of a Unilateral Undertaking or S106 Agreement. Overall, it is considered that the level of planning benefits sought is adequate and commensurate with the scale and nature of the proposed development, in compliance with Saved Policy R17 of the UDP.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues arising from this application.

#### **7.22 Other Issues**

There are no other relevant issues raised by this application.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or

other status'.

## **10. CONCLUSION**

The principle of this redevelopment accords with the policies of the Unitary Development Plan Saved Policies (September 2007) and is consistent with the guidance of PPS3 Housing. The density of the proposed development broadly accords with London Plan guidance. The layout of and bulk and scale of the proposed buildings are considered appropriate for the site and existing surrounding development, subject to appropriate materials.

The proposal could be built without substantial shading/overshadowing of the rear gardens of adjoining properties, while it is considered that adequate distance of buildings to the site boundaries have been achieved without having an adverse effect on the outlook of adjoining residential properties. Furthermore, it has been demonstrated that a detailed scheme could be designed without significant loss of privacy, in compliance with relevant UDP Policies and Supplementary Design Guidance.

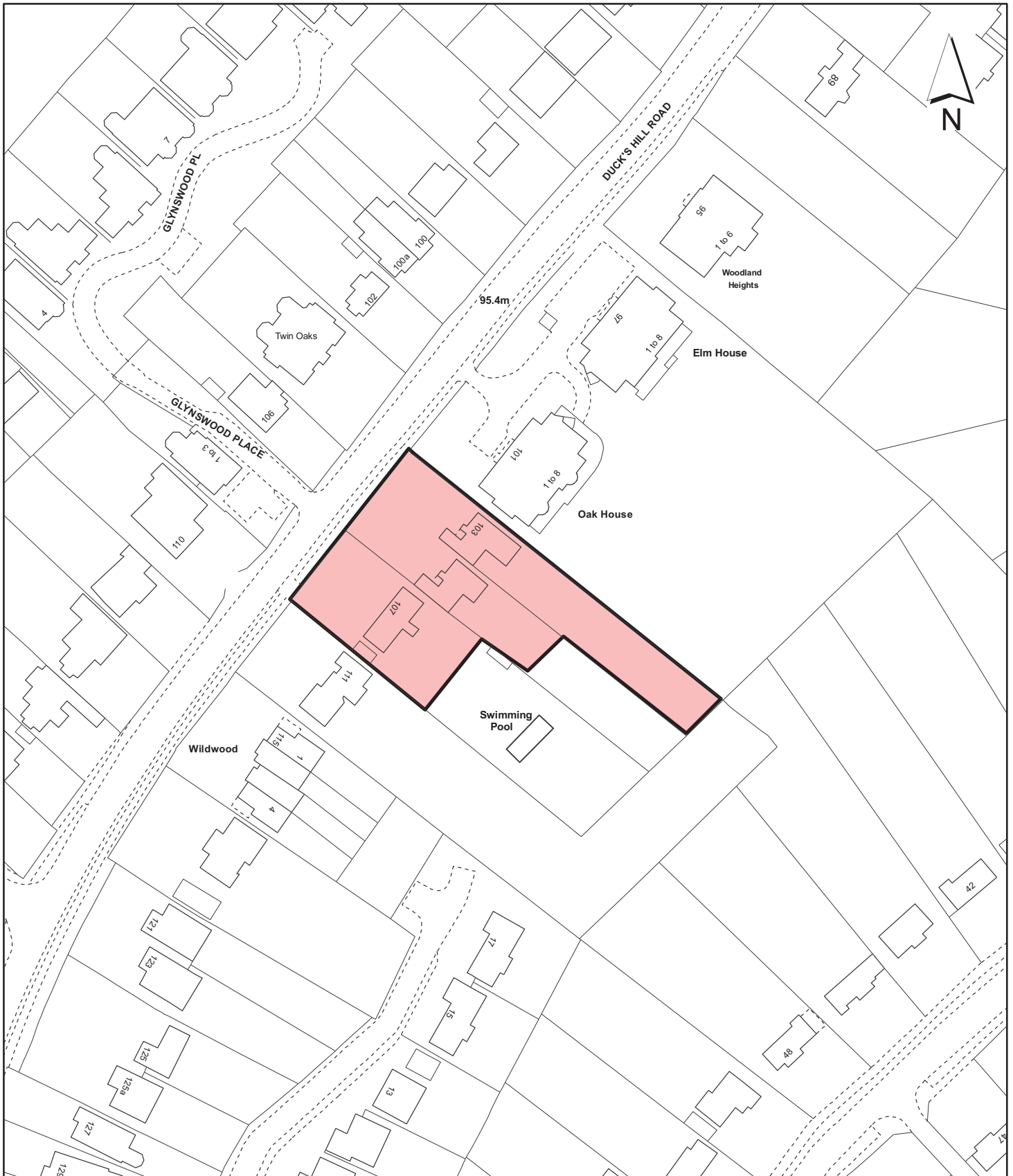
Subject to conditions, good environmental conditions for future occupiers could be achieved, whilst access to the development is considered satisfactory. The application is therefore recommended for approval.

## **11. Reference Documents**

Planning Policy Statement 1 (Delivering Sustainable Development)  
Planning Policy Statement 3 (Housing)  
Planning Policy Statement 9: Biodiversity and Geological Conservation  
Planning Policy Guidance Note 13 (Transport)  
Planning Policy Guidance Note 24 (Planning and Noise)  
The London Plan (2011)  
Hillingdon Unitary Development Plan Saved Policies (September 2007).  
Representations.  
Appeal Ref: APP/R5510/A/11/2153688 dated 26 October 2011.

**Contact Officer:** Karl Dafe

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**103, 105 and 107 Ducks Hill Road  
Northwood**

Planning Application Ref:

**64345/APP/2011/1945**

Planning Committee

**North** Page 60

Scale

**1:1,250**

Date

**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 11 HOYLAKE GARDENS RUISLIP

**Development:** Conversion of existing dwelling into 2 x 2 bed self contained flats with associated amenity space and parking involving 2 storey side extension, single storey rear extension and conversion of roof space into habitable use to include roof dormer and demolition of existing attached garage to side

**LBH Ref Nos:** 66856/APP/2011/2263

**Drawing Nos:** 1097/P3/1  
1097/P3/2  
1097/P3/3  
1097/P3/4  
1097/P3/5  
1097/P3/6  
Traffic Generation Assessment  
Assessment of Noise  
Design and Access Statement

**Date Plans Received:** 20/09/2011                      **Date(s) of Amendment(s):**

**Date Application Valid:** 26/09/2011

### 1. **SUMMARY**

The proposal is for the extension and conversion of one half of a pair of semi-detached dwellings to two, two bedroomed flats. This revised proposal is a reduced size and different design and layout from earlier schemes that were withdrawn and refused planning permission. The current scheme proposes horizontal, flatted division rather than houses. Traffic and acoustic reports have been submitted with the application.

The proposal complies with HDAS requirements for two storey side and single storey rear extensions, internal and external space standards and also those in the London Plan (2011) and the car parking provision and other policies set out in the Hillingdon Unitary Development Plan, Saved Policies September 2007. Planning permission is thus recommended subject to conditions.

### 2. **RECOMMENDATION**

**APPROVAL subject to the following:**

#### 1            HH-T8            **Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

#### 2            HH-M2            **External surfaces to match existing building**

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**3 HH-RPD1 No Additional Windows or Doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved which would face any/either of the adjoining properties.

**REASON**

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**4 HH-RPD4 Prevention of Balconies / Roof Gardens**

The roof area of the extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

**REASON**

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**5 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

**REASON**

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**6 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first

agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with

BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

### **7 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **8 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,

- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures).

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **9 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

#### REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **10 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

#### REASON

To ensure that the approved landscaping is properly maintained in accordance with



policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

**11 M3 Boundary treatment - details**

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the details of the acoustic fence to the rear boundaries of Nos 13 and 15 Hoylake Gardens. The boundary treatment shall be completed before the development hereby permitted is commenced or otherwise in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

**REASON**

To safeguard the visual amenities of the area in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**12 OM1 Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

**REASON**

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**13 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8 and 7.2

**14 H8 Surfacing and marking out of access/parking/servicing areas**

The development shall not be occupied until the access roads/parking areas, including the garages, shown on the approved plans have been drained, surfaced and marked out in accordance with details to be submitted to and approved in writing by the local planning authority. Thereafter these areas shall be permanently retained and used for no other purpose.

**REASON**

To ensure that the vehicular access, servicing and parking areas are satisfactorily laid out on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan . (July 2011).

**INFORMATIVES**

**1 I1 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

## **2            115            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

## **3            12            Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

## **4            13            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

## **5            15            Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as

removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

**6            I52            Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**7            I53            Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
H7	Conversion of residential properties into a number of units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
OE1	Protection of the character and amenities of surrounding properties and the local area
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 5.3	(2011) Sustainable design and construction
LPP 7.2	(2011) An inclusive environment

**8            I6            Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override

property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application site is on the north side of Hoylake Gardens and comprises a semi-detached property with a wider than average frontage (compared with other properties in Hoylake Gardens). The existing property is the end 1930's dwelling in the street, before a group of more modern 1980's properties begin. Hoylake Gardens originally comprised a small cul-de-sac of 16-18 dwellings, although this has now been extended to include an area of 1980's terraced properties with shallow rear gardens, some of which back onto the side of the application site. The site is within a short walk of Eastcote shopping centre, Eastcote underground station, main road, bus, and transport connections providing it with a PTAL rating of 3. The application site lies within the Developed Area as identified in the Adopted Hillingdon Unitary Development Plan (UDP) (Saved Policies, September 2007).

#### **3.2 Proposed Scheme**

Planning permission is sought for the conversion and extension of one half of a pair of semi-detached dwellings to two x two bedroomed flats.

The existing front door would provide access to the 1st/2nd floor flat utilising the existing stairwell. Access to the proposed ground floor flat would be gained from a new porch to the rear leading off from the car parking spaces.

The proposal would re-use the existing side vehicular access and the double garage, currently used as an office, to provide parking and manoeuvring for the four car spaces required for the proposal. A turning head would be provided in the front garden.

The proposed two storey extension would be pitched roofed and set back 1m from the front of the house. The angles of the proposed new roof would match those of the existing dwelling, the ridge would step down 0.5m below the ridge of the original house and the eaves would follow the existing lines. The two storey element would project 2.3m from the side of the original house, match the depth of the existing house of 7.3m to finish flush with the existing back wall.

To the rear, a new double flat roofed dormer would be created in part of the new and existing roofslopes, to be set down 0.5m from the new ridge, be 3.5m long and 1.7m high, project 2.16m and be positioned relatively centrally within the roof area, above the line of the existing three light 1st floor window.

A further single storey element would project 0.8m from the new flank wall, have a monopitched roof and be 5.3m long. The only window in the flank wall would be a ground floor window to the proposed new porch.

The rear single storey extension would project 3.3m from the rear, matching the extension of the adjoining property and be 6m wide, sharing the wall with the neighbour. It would have a flat roof, a parapet wall to the sides at a maximum height of 3.3m and have two lantern lights. To the side of the extension would be a new porch with a pitched roof.

The second flat would be provided across the first and second floors.

Ground floor flat floor area: 73m<sup>2</sup>

First/ second floor flat floor area: 79m<sup>2</sup>

Garden space would be provided for the ground floor flat directly behind the rear extension and have an area of 53m<sup>2</sup>. The garden of the first/second floor flat would be provided behind the retained garage and be accessed down the side and have an area of 69m<sup>2</sup>.

### 3.3 Relevant Planning History

16526/A/92/0904                      11 Hoylake Gardens Ruislip

Erection of detached garage (Application for determination under Section 64 of the Act)

**Decision:** 04-06-1992    Refused

66856/APP/2010/2169            Land Forming Part Of 11 Hoylake Gardens Ruislip

Two storey side and single storey front, side and rear extensions and conversion of roofspace to habitable accommodation with dormer to rear, to enable conversion of resulting building into 2, two-bedroom flats (involving demolition of attached garage to side).

**Decision:** 06-12-2010    Withdrawn

66856/APP/2010/518            Land Forming Part Of 11 And 11 Hoylake Gardens Ruislip

Two storey three-bedroom, end-of-terrace dwelling with associated parking and amenity space and single storey rear extension with roof lantern to existing dwelling and alterations to existing crossover.

**Decision:** 22-06-2010    Refused

#### Comment on Relevant Planning History

Planning permission was refused for an attached three-bedroomed dwelling on the grounds of cramped development, un-neighbourliness, lack of developer contributions and insufficient off street parking/access arrangements from parking provided at the front.

## 4. Planning Policies and Standards

### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13                      New development must harmonise with the existing street scene.

BE15                      Alterations and extensions to existing buildings

BE19                      New development must improve or complement the character of the area.

BE20                      Daylight and sunlight considerations.

BE21                      Siting, bulk and proximity of new buildings/extensions.

BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
H7	Conversion of residential properties into a number of units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
OE1	Protection of the character and amenities of surrounding properties and the local area
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 5.3	(2011) Sustainable design and construction
LPP 7.2	(2011) An inclusive environment

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

43 Neighbours and the Eastcote Residents Association consulted. A petition with 33 signatures and 7 letters of objection and one letter of support have been received. the following objections have been raised:

1. Loss of privacy and overlooking;
2. Overbearing through close proximity to existing properties as gardens in the Close are very shallow;
3. Loss of light;
4. Design out of keeping and overlarge;
5. Negative on quality of life for residents in the Close;
6. Question usability of the parking spaces and future legal problems over subdivision of plots that might lead to space becoming unavailable;
7. Parking disturbance;
8. Congested Close and difficulty of residents cars passing as well as concern over emergency vehicle access;
9. Question findings of traffic impact study stating that 2, 2 bedroomed flats would generate fewer trips than one dwelling;

10. Set undesirable precedent for flat conversions to the detriment of the character of the area;
11. Cumulative impact of development in the area leading to traffic problems;
12. Gardens might not be maintained in the future.

### **Internal Consultees**

Trees and Landscape Officer:

The site is occupied by a semi-detached house within an exceptionally wide plot whose northern/side boundary backs on to the rear gardens of house numbers 13-19. While no tree survey has been submitted, the existing site plan indicates the presence of trees and hedges within the garden, notably on the boundaries. There is no TPO or Conservation Area designation affecting the site, which might constrain development.

**LANDSCAPE ISSUES:** There are trees along the rear garden boundary, which have not been surveyed but the positions and spreads have been indicated on Dusek drawing No. 1097/P3/2. There are no significant landscape features close enough to the proposed development to pose a constraint. There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

**PROPOSAL:** The proposal follows a previous application (ref. 2010/518). The current scheme seeks to demolish the existing attached garage and build a side extension in order to convert the house into self-contained flats. The proposal includes off-street parking for four cars which will be double parked to the rear of the property with access to the side of the house.

**LANDSCAPE CONSIDERATIONS:** Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No trees or other landscape features will be affected by the development and the proposed new building will have little impact on views into the site. However, a turning head in the front garden will take up potential amenity space, although some soft landscape is indicated on plan. Similarly the excessive hard-surfacing in the rear garden is undesirable. The effect of this may be offset by the retention of existing trees and the provision of a high quality useable amenity space in the remaining garden.
- Where parking layouts are altered a part of an extension to a property, at least 25% of the front garden may be required to be maintained for planting and soft landscaping.
- DCLG/EA guidance requires new driveways to be permeable, to meet SUDS requirements.
- External storage for bikes and bins can have a detrimental visual impact on the front garden and streetscape. Where possible they should be located to the rear of the building and, if this is not possible, they should be discretely sited and screened from public view.
- A landscape management/maintenance plan should be submitted to ensure that the landscape of the communal areas is established and maintained in accordance with good practice.

**RECOMMENDATIONS:** No objection, subject to the above considerations and conditions TL1, TL2, TL3, TL5, TL6 and TL7.

Access Officer:

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document 'Accessible Hillingdon' adopted January 2010. The submitted plans and accompanying Design & Access Statement demonstrate a firm commitment to accessibility and the Lifetime Homes Standards, and the design is therefore fundamentally acceptable. However, further clarity needed in respect of the following:

1. The floor plan should be amended to confirm that level access, or sloped access with a

maximum gradient of 1:20, will be provided from the car parking to the proposed ground floor dwelling, with a level threshold to allow unhindered wheelchair user entry.

2. Whilst floor gully drainage appears to be shown on plan, the drawings should be annotated to provide clarity.

Conclusion: Subject to satisfactory amendments that incorporate the above observations, no objection would be raised.

Waste strategy Section:

The plan does not appear to show that a space has been allocated for the storage of waste from the domestic units. However, Hillingdon is not a wheeled bin borough. Bins or other containment would have to be provided by the developer. The current waste and recycling collection systems are:

Weekly residual (refuse) waste using sacks purchased by the occupier

Weekly dry recycling collection using specially marked sacks provided by the Council.

Fortnightly green garden waste collection three specially marked reusable bags provided by the Council free of charge.

The waste and recycling should be presented near the curtilage of the property on allocated collection days.

Highways Engineer: No objection.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

This is an established residential area and there would therefore be no objections in principle to the extension of an existing property and its conversion to provide an additional residential property subject to meeting the demands and constraints of site context, capacity, manner of execution and associated impacts and compliance with local and regional standards. In particular for Hoylake Gardens, the principle for converting an existing house to create additional dwellings would be acceptable, as not more than 10% of the dwellings have been converted in Hoylake Gardens (HDAS Residential Layout Design Guide Section 3 paragraph 3.5).

### **7.02 Density of the proposed development**

Policy 3.4 of the London Plan seeks to ensure that planning decisions 'optimise housing output for different types of location within the relevant density ranges shown in Table 3.2' subject to local context.

In this regard it is noted that the density ranges in table 3.2 are generally an appropriate measure for larger scale developments, whereas for individual units the appropriateness of a scheme will normally hinge on its individual merits.

The HDAS provides locally specific guidance and standards for extensions and new residential development. By providing its own standard sizes for gardens and new units it seeks to achieve a balance of permitting new development whilst maintaining residential amenities for current and future occupiers of the proposed development and surroundings. Achieving these standards is a key indicator of whether a proposal would constitute over-development of a site. One of the issues is distance from neighbouring properties. HDAS Residential Layouts, para. 4.9, provides guidance on acceptable distances of new development from existing properties of 15m minimum where no new facing windows are proposed, which is the case here. In addition to complying with the space standards required, the distance of the proposed new 2 storey element of the side



extension from the back wall of the nearest properties, Nos. 13 and 15 Hoylake Gardens, would be 14.8m. It is considered that the shortfall of 200mm would be insufficient to recommend refusal on these grounds alone when all the other matters are considered to be satisfied, as detailed in the rest of the report.

**7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application.

**7.04 Airport safeguarding**

Not applicable to this application.

**7.05 Impact on the green belt**

Not applicable to this application.

**7.06 Environmental Impact**

Not applicable to this application.

**7.07 Impact on the character & appearance of the area**

Section 4.27 of the SPD states careful consideration should be given to building lines, and these should relate well to the existing street pattern. It is considered the proposal would comply with the intentions of this advice and respect the frontage of the original pair of symmetrical semi-detached dwellings, appearing as a subservient addition. Due to the property being the last in this row, this set back position would be appropriate within the context of the remaining properties. The proposed extension would follow the design of the host dwelling using the same eaves height with a subservient ridge. The design of the new extensions is considered to reflect the style of the existing property, and the character of the street scene in general, including the overall size and shape of the hipped roof, together with the doors and window arrangements which are considered to be in-keeping with the appearance of the surrounding area.

With regard to Policy BE22 of the Hillingdon UDP (Saved Policies, September 2007), two storey buildings should be set in a minimum distance of 1m from the side boundaries, this is to prevent a terracing effect and to protect visual gaps between properties. The proposed house would result in a much larger gap to the boundary of 4.8m and therefore complies with this advice. The gap between the old and new development would still be maintained, providing a visual relief of open space and a view through the built development. The proposed extension would therefore comply with the requirements of policies BE13, BE19 and BE22 of the Unitary Development Plan (Saved Policies September 2007) and the Supplementary Planning Document HDAS: Residential Extensions.

The proposed single storey rear extension, complies with the recommended depth guidance in the SPD HDAS: Residential Extensions. The proposed fenestration details would reflect the proportions and style of the existing property, and therefore comply with section 3.11 of the SPD and with regard to the roof design the extension is shown to have a flat roof at an appropriate tie-in level. It is therefore considered that this single storey rear extension would be both clearly articulated and visually subordinate to the main dwelling and would therefore comply with policies BE13, BE15, and BE19 of the UDP (Saved Policies September 2007).

With regard to the parking and turning for the proposed dwelling. Section 4.37 of the SPD: Residential Layouts, states careful consideration should be given to the boundary treatment and the retention of mature and semi-mature trees. It is considered that the re-use of the garage building for car parking and the integration of the currently separate driveway would add to the functional and visual coherence of the site and its immediate surroundings. The four spaces provided comply with the provisions of Policy AM14 of the

Hillingdon UDP Saved Policies September 2007. The agent's supporting statement states that part of the site is currently used as an office, attracting an amount of additional traffic and that the existing high boundary gates would be removed, all improving on existing turning and visibility capabilities in the area. Subject to a suitable landscaping condition the proposal would be acceptable and comply with policy BE38 of the UDP (Saved Policies September 2007).

#### **7.08 Impact on neighbours**

With regard to the impact of the amenities on the adjoining occupiers, Sections 4.9 of the SPD HDAS: Residential Layouts, in relation to new dwellings, states all residential developments and amenity space should receive adequate daylight and sunlight, including habitable rooms and kitchens. The daylight and sunlight available to adjoining properties should be adequately protected. Where a two or more storey building abuts a property or its garden, adequate distance should be maintained to overcome possible over-dominance, and 15m will be the minimum acceptable distance. This proposal is considered acceptable, at 14.8m, not to warrant refusal on this ground alone. Furthermore, as the proposed extension would be located on the northern side of the host building, it would not increase shadowing to any significant amount and is considered to not result in any overly dominant and un-neighbourly development. Therefore, this proposal is considered to comply with Policies BE20 and BE21 of the Adopted Hillingdon UDP (Saved Policies, September 2007).

It is considered that the proposed single storey extension would not cause an unacceptable loss of light or outlook to adjoining occupiers. The SPD HDAS: Residential Extensions: Section 3.1 states extensions should not protrude too far from the rear wall of the original house and that for this type of property the extension should not exceed 3.6m in depth, and the proposal would comply with this advice at 3.3m deep. With regard to the height of this addition, Section 3.9 of the document states that if a parapet wall is to be used this should not exceed 3.1m in height and whilst it would exceed this advice at 3.3m, it is noted the existing property has an extension at this depth and therefore the proposal is considered not to have an adverse effect. As such, the single storey rear extension to the property is considered to comply with Policies BE20 and BE21 of the Adopted Hillingdon UDP (Saved Policies, September 2007).

With regard to loss of privacy, there would be no first floor window in the flank elevation of the proposed extension. In relation to the ground floor openings, an existing 1.8m close boarded fence is shown to mark the boundary and this would avoid any overlooking at ground floor level. The proposal is considered not to result in unacceptable overlooking of neighbours houses within 21m. Therefore, subject to appropriate safeguarding conditions, the proposal would comply with policy BE24 of the UDP (Saved Policies September 2007).

#### **7.09 Living conditions for future occupiers**

Section 4.7 of the SPD HDAS: Residential Layouts, states careful consideration should be given in the design of the internal layout, and that satisfactory indoor living space and amenities should be provided. The proposed internal floor space for the new flats would be 73m<sup>2</sup> and 79m<sup>2</sup>, each exceeding the SPD guidance of 63m<sup>2</sup>. The proposal would therefore comply with this advice and the minimum, larger guidelines of the London Plan (2011) at 70m<sup>2</sup> for 2 bedroomed, four person flats.

With regard to the size of the garden, the SPD: Residential Layouts: Section 4.15 states that a 2 bed house should have a minimum private amenity space of 40m<sup>2</sup>. At 53m<sup>2</sup> and 69m<sup>2</sup>, these areas exceed the requirements and comply with policy BE23 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The Highways Engineer has been consulted and has commented that the site is shown to be in an area with a PTAL accessibility rating of 3 (medium), (on a scale of 1-6, where 6 is the most accessible).

Hoyle Gardens is a narrow road. Its effective width being further reduced by on-street parking. On street parking has been observed to be congested in the vicinity of the site.

The application proposes four off-street parking spaces in accordance with Council standards. The internal garage space would be 5m and provide two spaces of 2.5m each, meeting the required sizes and usability. The TRICS study produced in support of the application would be particularly relevant if there was a shortfall of spaces. In this case, the amount of off-street car spaces and turning provided is considered to be acceptable for the proposed two, two bedroomed units. The proposals are therefore considered to comply with Policy AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

The vehicle movement noise assessment study makes an argument that the vehicles from the proposed development would be no closer than the existing due to the existence of the driveway and double garage already on the site, as well as the existing lean to single side garage, that could have a considerable amount of unrestricted use without requiring planning permission. The study calculations show that little, if any additional noise would result from vehicle movements arising from the proposed development in addition to the existing property. The applicant nevertheless proposes acoustic screening along the bottom of gardens of Nos. 13 and 15 Hoyle Gardens and this is recommended by condition. The proposal is therefore not considered to result in a significant loss of amenity through noise from parking and manoeuvring. As such the proposal is considered to comply with Policies OE1 and OE3 of the UDP Saved Policies September 2007.

#### **7.11 Urban design, access and security**

As above

#### **7.12 Disabled access**

The submitted plans and accompanying Design and Access Statement demonstrate a firm commitment to accessibility and the Lifetime Homes Standards, and the design is therefore fundamentally acceptable. A condition is imposed requiring further details in respect of threshold gradient and drainage gully. Therefore the proposal would comply with Policy 7.2 of the London Plan and the Council's SPD: Accessible Hillingdon.

#### **7.13 Provision of affordable & special needs housing**

The proposal does not meet the threshold to require the provision of this type of housing.

#### **7.14 Trees, Landscaping and Ecology**

The tree and landscape officer considers the proposal to be acceptable subject to seeking conditions on landscape enhancement in association with residential development in line with Policies BE23 and BE38 of the UDP and suggests conditions which are added to the recommendations.

#### **7.15 Sustainable waste management**

Section 4.40 - 4.41 of the SPD: Residential layouts deals with waste management and specifies bin stores should be provided for, and wheelie bin stores should not be further than 9m from the edge of the highway. The layout plan shows the siting of refuse and recycling collection points, however no details have been supplied in relation to this. As such, a condition is recommended requiring these details to be submitted for approval.

#### **7.16 Renewable energy / Sustainability**

It has been considered that all the proposed habitable rooms, would have an adequate outlook and source of natural light, and therefore comply with the SPD: Residential Layouts: Section 4.9 and Policy 5.3 of the London Plan (2011).

#### **7.17 Flooding or Drainage Issues**

Not applicable to this application.

#### **7.18 Noise or Air Quality Issues**

Not applicable to this application.

#### **7.19 Comments on Public Consultations**

The issues raised have been considered in the main report.

#### **7.20 Planning Obligations**

Presently S106 contributions for education are sought for developments, when the net gain of habitable rooms exceeds six which this proposal does not. Therefore contributions are not required.

#### **7.21 Expediency of enforcement action**

Not applicable to this application.

#### **7.22 Other Issues**

None.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

### **9. Observations of the Director of Finance**

None

## 10. CONCLUSION

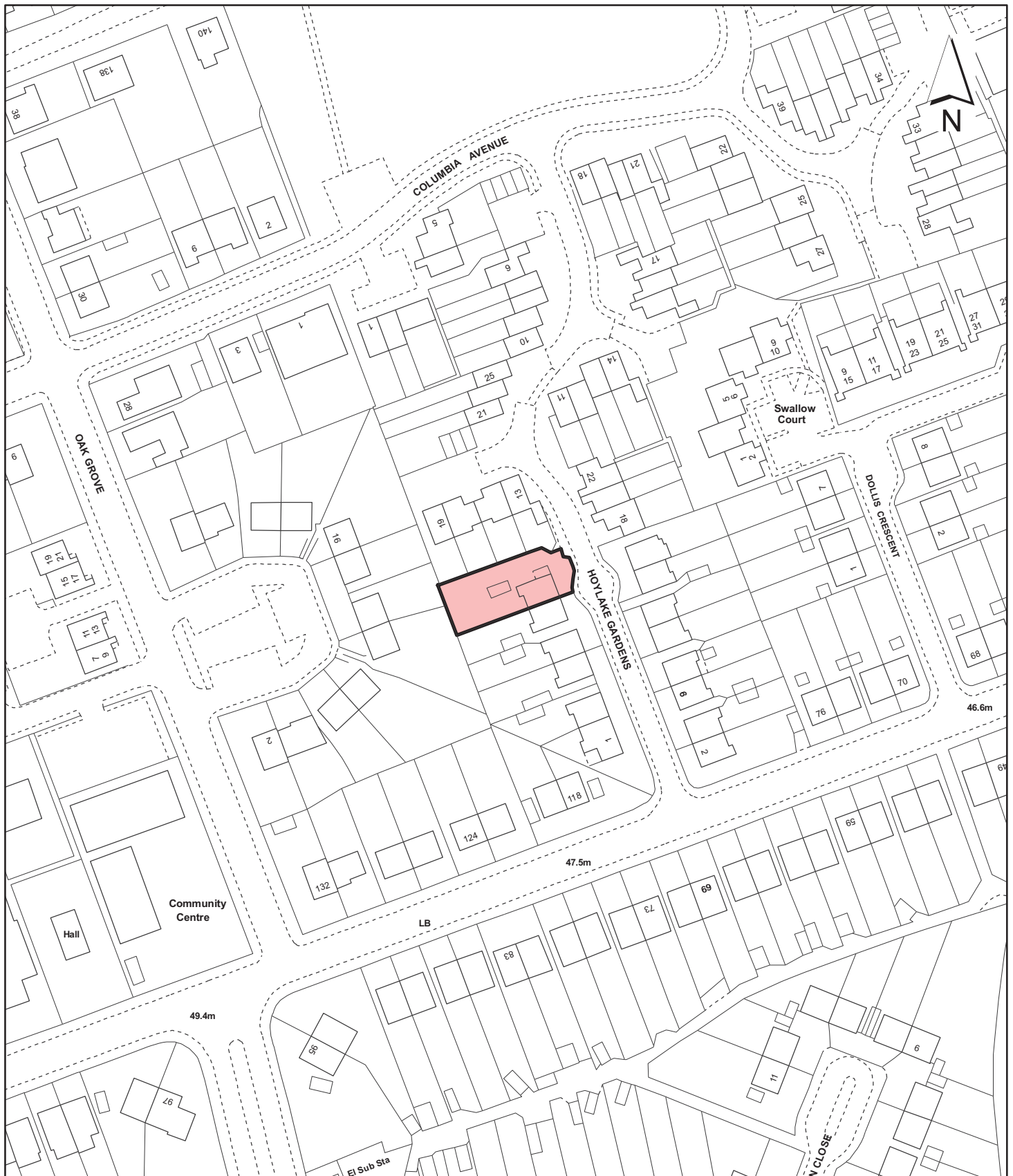
The proposal is considered to have addressed the previous reasons for refusal and accordingly is considered to now comply with the policies in the Hillingdon Unitary Development Plan (Saved Policies September 2007), HDAS: Residential Layouts and Residential Extensions, and The London Plan (2011).

## 11. Reference Documents

Hillingdon Unitary Development Plan Saved Policies September 2007  
HDAS: New Residential Layouts: July 2006  
HDAS: Residential Extensions: July 2006  
Accessible Hillingdon: January 2010  
The London Plan (2011)

**Contact Officer:** Clare Wright

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**11 Hoylake Gardens  
Ruislip**

Planning Application Ref:  
**66856/APP/2011/2263**

Planning Committee  
**North** Page 78

Scale  
**1:1,250**

Date  
**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** LITTLE HAMMONDS BREAKSPEAR ROAD NORTH HAREFIELD

**Development:** Change of use of site from Class C3 (Dwelling House) to mixed use Class C3 (Dwelling house) and Class D1 (Non-Residential Institutions), involving the erection of a single storey building at the rear for use as a meeting room (Use Class D1) with associated parking. Single storey side extension to the existing dwelling house (involving demolition of part of existing garage), new access road involving demolition of existing single storey side extension and the installation of 2 vehicular crossovers, new wall to front boundary and new fence to side.

**LBH Ref Nos:** 35910/APP/2011/718

**Drawing Nos:** Design & Access  
1566/3  
6974-200-001  
1465-7 Rev. F  
1465/8 Rev. A  
1465-6 Rev. C  
1566/2 Rev. C  
Tree Report Received 26th September 2011  
Transport Statement Received 27th September 2011

<b>Date Plans Received:</b>	23/03/2011	<b>Date(s) of Amendment(s):</b>	23/03/2011
<b>Date Application Valid:</b>	29/03/2011		21/06/2011
			19/09/2011
			23/09/2011
			27/09/2011
			29/09/2011

### 1. SUMMARY

The application seeks permission erect a meeting room building, to be used for D1 purposes (worship), together with associated access road and car-park, involving the sub-division of the site and a replacement single storey side extension to the original dwelling, alterations to the front wall of the site and the provision of a new public footpath extending to the Cricket Club Grounds.

There is no objection to the single storey extension to the dwelling or to the alterations to the front boundary wall. However, there is concern relating to the proposal for an independent meeting room/church which would not be ancillary to the existing residential use of the site. Due to the additional activities that would be generated, as a result of this use, this would fail to safeguard the amenities of the surrounding residential properties. In addition it is considered the proposed formation of the access road and car-parking area with associated increase in traffic, would be out of keeping and detrimental to the surrounding residential area and character and appearance of the conservation area. There is further concern regarding what measures are in place to prevent any intensification of use if a permission were to be issued or if/how these matters could be reasonably controlled.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

**1 NON2 Non Standard reason for refusal**

The proposed development by reason of the proposed use located in a detached position at the end of the rear garden and due to the activities generated in association with that proposed use, would result in a material increase in noise and disturbance to nearby residential properties. As such, the development would constitute an un-neighbourly form of development, resulting in a material loss of residential amenity. The proposal is therefore contrary to Policies OE1, OE3, R9, R10 and BE19 of the Hillingdon Unitary Development Plan Saved Policies September 2007.

**2 NON2 Non Standard reason for refusal**

The proposed development by reason of the formation of the access road for the full length of the site and the large car-parking area with associated increase in traffic would be out of keeping with the pattern of surrounding development and results in an excessive loss of garden space, detrimental to the verdant character and visual amenity of the conservation area. The development therefore fails to harmonise with the character of the surrounding area, contrary to Policies BE4, BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 7.1 and 7.4 of the London Plan (2011).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R9	Proposals for the use of buildings for religious and cultural purposes
R10	Proposals for new meeting halls and buildings for education, social, community and health services



OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LPP 3.16	(2011) Protection and enhancement of social infrastructure
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.4	(2011) Local character

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The site comprises a large detached house on a substantial plot within an established residential area, located on the south western side of Breakspear Road North, immediately adjacent to its junction with Dairy Farm Lane. The site is adjoined to the west by the grounds of the Harefield Cricket Club. To the east is the access road leading to Dairy Farm with more modern residential development beyond. This development also wraps around the rear of the site, with a detached house (No. 8 Dairy Farm Lane) and garage block immediately adjacent to the rear boundary. There are semi-detached and detached houses on the opposite side of Breakspear Road North. The site is bounded to the front by an old brick wall, approximately 2m high, with a more modern wall and 1.8m high fencing towards the rear of the site along the Dairy Farm Lane boundary. There are large outbuildings adjacent to this side boundary, with many mature trees on site.

The site is within Harefield Village Conservation Area as identified in the Hillingdon Unitary Development Plan (UDP) (Saved Policies September 2007) and is also covered by TPO3.

#### 3.2 Proposed Scheme

The application seeks planning permission for:

- A single storey building to the rear of the site for D1 use (Non-residential institution), to be used as a meeting room and place of worship. The building would be 13.3m long by 8.6m deep, and finished with a pitched roof.
- An associated parking area for 9 vehicles (one of which would be for disabled users), together with two cycle stands and a new independent vehicular access road running the length of the site along the western boundary.
- A new pedestrian footpath provided on the road frontage from the new vehicular access point for the development to the Cricket Club Entrance
- The site would be separated with a 2m high close boarded fence between the two differing uses.
- Single storey side extension to the east side of the existing dwelling house, involving demolition of an existing single storey side extension on the west side (to allow for the new access road). The extension would be 5.75m wide by 9m deep, it would be set back from the front wall by 1m and would have a 2.5m rear projection. This addition would be finished with a pitched and hipped roof, with a maximum ridge height of 5.3m.
- The front 2.1m section of the existing garage would be removed to provide reasonable clearance to this building once the side extension had been constructed.

The proposed hours of operation indicated in the application form states 9am-9pm Monday to Saturday, and 6am to 6pm Sundays and Bank Holidays.

The Design and Access Statement comments that the Meeting Room is designed to serve the Trust Members within the village and immediate surrounding area and is to have a very limited use. The building would have a total floor area of 88m<sup>2</sup>, comprising 64m<sup>2</sup> meeting space with adjoining entrance and WC facilities. The building is designed to accommodate an average congregation of 40 members, generally made up of family groups who will attend meetings twice a week only. These meetings would last no longer than one hour and would be for prayer only and not involve any singing or music. The building is not to be used for any other social event linked to the Gospel Hall Trust and would not be sub-let for any other purpose.

### 3.3 Relevant Planning History

35910/APP/2000/1695 Little Hammonds Breakspear Road North Harefield  
ERECTION OF NEW ENTRANCE GATES AND WALLS TO FRONT BOUNDARY

**Decision:** 19-02-2001 Approved

35910/APP/2002/1873 Little Hammonds Breakspear Road North Harefield  
ERECTION OF A SINGLE STOREY SIDE EXTENSION

**Decision:** 20-12-2002 Approved

35910/APP/2007/1246 Little Hammonds Breakspear Road North Harefield  
ERECTION OF A PART SINGLE STOREY REAR EXTENSION TO FORM GRANNY ANNEXE.

**Decision:** 26-07-2007 Approved

#### Comment on Relevant Planning History

None

## 4. Planning Policies and Standards

### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- |      |   |
|------|---|
| BE4  | New development within or on the fringes of conservation areas        |
| BE13 | New development must harmonise with the existing street scene.        |
| BE19 | New development must improve or complement the character of the area. |
| BE20 | Daylight and sunlight considerations.                                 |
| BE21 | Siting, bulk and proximity of new buildings/extensions.               |
| BE23 | Requires the provision of adequate amenity space.                     |

BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R9	Proposals for the use of buildings for religious and cultural purposes
R10	Proposals for new meeting halls and buildings for education, social, community and health services
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
LPP 3.16	(2011) Protection and enhancement of social infrastructure
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.4	(2011) Local character

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **11th May 2011**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

23 neighbours and interested parties were consulted and 20 responses and a petition of 49 signatures have been received, which make the following comments:

In Objection:

1. We strongly oppose this application on the grounds that living in a secluded residential area surrounded by Green Belt, it is unacceptable to have the end of a private garden's use changed from residential to another use.
2. It is out of keeping and detrimental to the existing surrounding area.
3. The proposed site is someone's back garden where neighbours would not expect to have to live next to a place of worship, car park or any other non-residential building.
4. The building is in very close proximity to our property, which will affect our views, right of light and peaceful enjoyment of our location.
5. The hall will be an eyesore as opposed to the existing open garden.
6. The proposed building is not in line with the existing block of garages, the building is closer to our house than our garages are.
7. Noise pollution - the change from a residential garden to the proposed use, together with the proposed hours of operation is unacceptable. This is outside normal hours and our bedroom will overlook the development and thereby we will be woken to the arrival of cars, shutting of doors etc at 6am every Sunday and possibly every Bank Holiday.
8. In addition the current property owners kept pigs at the proposed site (last year- 2010) and we were woken every morning without fail at 5am to hungry squeals. We tried to contact the property owner to discuss the moving of the pigs to another part of the garden, to no avail.

9. Disturbance will also result from the access drive with people using it as a turning circle and the excessive car parking spaces are opposed.
10. It is a real concern that the place of worship will be hired out for private functions, with the associated noise pollution.
11. Devaluation of properties due to religious sect at close quarters.
12. Every so often we hear late night (past 10pm/11 pm) singing(hymns/gospel) and musical instruments being played in the property's garden, whilst this is not that often, it is a real concern that this could become a very common event.
13. Currently there is very little street lighting in the area off the main road which makes the current residential setting idyllic, the lighting to the access drive will affect this.
14. We confirm that we did receive a letter from the property owner this year stating his planning proposals and we were not invited to or made aware of an open house at Little Hammonds and the consultation process.
15. We object to the pedestrianisation of the road opposite us as currently it is very useful parking for visitors, also if a new pavement is laid at the front of the property, will mean any overflow of cars going to these meetings will park along this new pavement and therefore access to our own driveway will be severely restricted.
16. I object unless there is provision of a Section 106 (or similar) to finance traffic calming measures.
17. No objection in principle, but consider the building is too close to the southern boundary and due to the opening times could cause noise and disturbance. We consider it would be better placed midpoint on the western boundary, backing onto the cricket club grounds.
18. No objection, but concern about opening times on Sundays and Bank Holidays, with possible noise and disturbance from car engines and doors slamming.
19. If approved any future use of the meeting room to be used as habitable accommodation should be prohibited by condition.
20. Due to the proposed location of the building the application should be refused.

In support:

1. We support as the current owners have improved the house and grounds and this will only serve to continue to improve the property and the surrounding area.
2. This will pose no inconvenience for residents.
3. There is a need to have a local place to meet and worship.
4. This is a low density, low impact development, with a well balanced design.
5. Pedestrian safety will be improved.
6. Will provide advantage of low key family based Christian organisation as supportive influence in the village.
7. The proposal has been carefully designed to have a minimal impact and will barely be visible from the road.

#### **Internal Consultees**

ENVIRONMENTAL PROTECTION UNIT:

EPU have concerns about the proposed operating hours and likelihood for noise disturbance arising from the proposed use in this residential location, giving rise to complaint of statutory noise nuisance from vehicle movements, amplified music or voice.

CONSERVATION AND URBAN DESIGN OFFICER:

This is large and attractive property, with an almost 'French' character, located in the Harefield Village Conservation Area. The house has been extended in the past and has an existing flat roof side addition. The building has also been included in the Local List of buildings of Architectural and Historic Importance. The scheme proposes an outbuilding to the rear of the garden to Little

Hammonds. The building is proposed to be used as a religious meeting room, with a separate access from the side of the main house. Following previous comments, the height of the building has been reduced, and as such there are no further design objections. There are, however, concerns over the use and location of the proposed building, and the additional access.

The single storey extension has been set back from the original front elevation of the house and would be acceptable. The front porch has been revised to reflect a more traditional hip roof, and there are no further objections to the same.

Conclusion: Concerns over additional access and the 'backland' development remain and should be considered from a policy and planning point of view.

#### TREES AND LANDSCAPE OFFICER:

In general, the observations of 20 June 2011 (see below) are still relevant to the latest (September 2011) revised scheme, with a widened driveway at the front, for the development of this site. Given that the revised application now includes additional and very detailed tree-related information, the suggested conditions have been reconsidered and in some cases changed.

Subject to conditions TL1 (modified to require details of levels and services ONLY), TL2, TL3 (modified to require the erection of the approved scheme of protective fencing), TL5 (modified to require tree planting, not including Oak, at the front as well as the rear of the site, and details/sections of the crossover and 'no-dig' driveway and parking area), TL6, TL7 and TL21 (modified to require that the approved works are carried out and supervised in accordance with the approved tree protection plan, recommendations and method statements 1-6 contained in the revised development site tree report), the latest revised application is acceptable in terms of Saved Policy BE38 of the UDP.

In addition, the decision notice should include an informative to advise the applicants that the trees on the site are protected by TPO 3 or by virtue of their location in the Conservation Area, and another informative to advise that, in order to avoid the risk of an outbreak of Oak Processionary Moth, the tree planting proposals should not include Oak.

#### HIGHWAYS ENGINEER:

The applicant is proposing to extend the public footway along Breakspear Road in front of the site up to Harefield Cricket Club (HCC) entrance. A pedestrian crossing point is proposed within the extended section of footway in front of the site. The proposed footway would improve highway and pedestrian safety and pedestrian access. Dairy Farm development, Little Hammonds, application site, and HCC would directly benefit from an improved pedestrian route.

The existing access serving the dwelling is proposed to be stopped up and relocated. Two new vehicular accesses are proposed, one to service the existing dwelling and the other to service the proposed meeting hall. Both accesses are to be gated, with the gates set back 5m from the back of the footway. Gate for the meeting room access shall remain open during the operational hours of the meeting room to avoid any vehicles waiting across the footway and/or overhanging/waiting on the carriageway. 2.4m x 2.4m pedestrian visibility splays should be provided at both vehicular accesses. Sightlines would be improved at the relocated access for Little Hammonds due to the proposed footway. Part of the access for the meeting hall falls within HCC land, which is required to achieve an enhanced visibility to the left (when exiting). HCC has confirmed that they do not object on the proposals. This aspect should be covered in any planning permission.

The access road layout with passing bay, car parking and cycle parking provision are acceptable for the congregation proposed to use the meeting room. The access road, parking and operating

times should be covered through suitable planning conditions.

Subject to the above issues being covered through planning conditions, there is no objection on the highways aspect of this application.

#### ACCESS OFFICER:

The Equality Act 2010 seeks to protect people accessing goods, facilities and services from discrimination on the basis of a 'protected characteristic,' which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be incorporated with relative ease.

1. The level access proposed should achieve a gradient of 1:21 to ensure that sufficient tolerance is designed in not to require handrails.
2. The accessible toilet proposed should be designed in accordance with the guidance given in Approved Document M to the Buildings Regulations 2004.
3. The accessible toilet should be signed either 'Accessible WC' or 'Unisex.' Alternatively, the use of the wheelchair symbol and the words Ladies and Gentlemen or Unisex would be acceptable.

#### Recommended Informatives:

1. Induction loops should be specified to comply with BS 7594 and BS EN 60118-4, and a term contract planned for their maintenance.
2. Care must be taken to ensure that overspill and/or other interference from induction loops in different/adjacent areas does not occur.
3. Flashing beacons/strobe lights linked to the fire alarm should be carefully selected to ensure they remain within the technical thresholds not to adversely affect people with epilepsy.

Conclusion: Subject to a condition to secure points 1, 2 and 3 above, no concerns are raised in terms of accessibility.

#### WASTE AND RECYCLING OFFICER:

The waste division has no specific comments to make regarding this application.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

There is no policy objection to the provision of new buildings within the 'developed area.' However, in general, it is expected that where buildings in the rear gardens of existing residential properties are proposed these are linked to and ancillary to the main use of the site as residential. Where separate buildings not linked to the main dwelling are proposed then the impact of the use proposed is the main consideration.

Policy R9 of the UPD (Saved Policies September 2007) states proposals for buildings to be used for religious and cultural purposes if they can provide adequate parking, any new buildings or extensions would harmonise with their surroundings, they do not prejudice the amenities of surrounding properties, access arrangements are satisfactory and the proposal would not conflict with other policies in the plan.

Policy R10 of the UPD (Saved Policies September 2007) states new meeting halls, buildings for education, social, community and health services, etc, will be considered acceptable in principle subject to the other policies in the plan.

A large part of the rear garden would be given over to car parking and the proposed

building. Additional guidance on development in rear gardens and the interpretation of related policies has recently been published and whilst it generally relates to the development of rear garden land for residential purposes, the principles of the loss of garden land is an important material consideration in assessing the principle of developments such as this.

Key changes in the policy context, since the adoption of the UDP Saved Policies, includes the adoption of The London Plan (2011), the Letter to Chief Planning Officers: Development on Garden Land dated 19/01/2010, The London Plan Interim Housing Supplementary Planning Guidance April 2010, and new Planning Policy Statement (PPS) 3: Housing adopted June 2010.

In relation to National Policy, the Letter to Chief Planning Officers clarifies that "there is no presumption that previously developed land is necessarily suitable for housing, nor that all of the curtilage should be developed" and commits to move this clarification to a more prominent position within the PPS. It further clarifies that "the main focus of the Government's position therefore is that local authorities are best placed to develop policies and take decisions on the most suitable locations for housing and they can, if appropriate, resist development on existing gardens".

The London Plan Interim Housing Supplementary Planning Guidance (April 2010) was published following the national advice above and represents the Mayor of London's guidance on how applications for development on garden land should be treated within the London Region. The thrust of the guidance is that back gardens contribute to the objectives of a significant number of London Plan policies and these matters should be taken into account when considering the principle of such developments.

The guidance requires that "In implementing London Plan housing policies and especially Policy 3A.3, the Mayor will, and Boroughs and other partners are advised when considering development proposals which entail the loss of garden land, to take full account of the contribution of gardens to achievement of London Plan policies on:

- \* local context and character including the historic and built environment;
  - \* safe, secure and sustainable environments;
  - \* bio-diversity;
  - \* trees;
  - \* green corridors and networks;
  - \* flood risk;
  - \* climate change including the heat island effect, and
  - \* enhancing the distinct character of suburban London,
- and carefully balance these policy objectives against the generally limited contribution such developments can make toward achieving housing targets."

Following on from this, Policy 7.4 of the updated London Plan (2011) emphasises the importance of local distinctiveness, and ensuring proposed developments preserve or enhance local social, physical, cultural, historical, environmental and economic characteristics.

Notably, revised Planning Policy Statement 3: Housing, was published in April 2010 and, as advised in the Letter to Chief Planning Officers, discussed above, clearly clarifies that not all developed land is necessarily suitable for housing, nor that all of the curtilage should be developed. It also makes it clear that well thought out design and layout which integrates with and complements existing buildings and the surrounding local context is a key consideration which needs to be taken into account when assessing proposals for

residential development.

Therefore, revised Planning Policy Statement 3 and the London Plan Interim Housing supplementary Planning Guidance do not introduce additional policy considerations but rather provide greater clarity on the interpretation of existing policy guidance. Whilst there is in general no objection to the principle of an intensification/greater use being made of existing residential sites it is considered that the shifting policy emphasis requires all new proposals for development to be carefully scrutinised.

**7.02 Density of the proposed development**

Not applicable to this application.

**7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application is within Harefield Village Conservation Area and whilst there are no objections to the design of the building, concerns are raised regarding the access road, parking area, the general loss of the garden area and the use of the building all of which impact on the character and appearance of the conservation area and these issues are covered in greater detail in Section 7.07.

With regard to the single storey extension to the dwellinghouse, this has been set back from the original front elevation of the house and would be acceptable. The front porch has been revised to reflect a more traditional hip roof, and there are no further objections to the same.

**7.04 Airport safeguarding**

Not applicable to this application.

**7.05 Impact on the green belt**

Not applicable to this application.

**7.06 Environmental Impact**

Not applicable to this application.

**7.07 Impact on the character & appearance of the area**

The proposal relates to the erection of a building to the rear of the site with associated access road and carpark, and replacement single storey extension to the existing property.

The proposed new building would not be visible from Breakspear Road North and whilst it would be visible from Dairy Farm Lane, it is not considered to have a detrimental impact. The building would be located on the southern boundary of the site and set against the backdrop of an existing garage block building, and would be of a similar design and scale. With the overall design approach and indicative materials considered appropriate given the context of the site.

With regard to the proposed side extension, it is considered the bulk, design, and fenestration details would reflect the proportions and style of the existing property, and therefore comply with the advice in the SPD: Residential Extensions. With regard to the roof design, this would mirror that of the existing single storey element on the west side of the property, thereby resulting in a visually well balanced development.

However, this proposal is also for a meeting room/church which would not be ancillary to the existing residential use of the site. The proposal involves the formation of an access road over the entire length of the rear garden, together with a large parking area. A number of residential properties do have garages which extend into the rear garden, but these tend to be of a domestic scale and sited reasonably close to the houses they serve. This proposal is within an established residential area, surrounded by mature residential



gardens. The proposed building in the rear garden, rear car parking area and driveway would result in an extensive area of hardstanding and vehicle movement along the whole depth of the rear garden that would be out of keeping with the surrounding pattern and layout of residential development, removing a sizeable portion of the rear garden area. It is therefore, considered that the principle of the proposed development and its impact on the layout, character and appearance of the area is contrary to Policies BE4, BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policies 7.1 and 7.4 of the London Plan.

#### **7.08 Impact on neighbours**

Policy BE19 requires new development in residential areas complements or improves the amenity and character of the area, and Policy BE24 states that the development should be designed to protect the privacy of future occupiers and their neighbours. The proposed building would be situated over 60m away from Little Hammonds, and would be within 8m of No. 8 Dairy Farm Lane, but set mainly behind/against an existing garage building. As such, a single storey building in this position would be unlikely to have a detrimental impact upon adjoining residents by reason of dominance, loss of sunlight/daylight and/or privacy.

However, it is considered the proposed use would give rise to potential noise generation and general disturbance, even if, as stated there would not be any music or singing within the building. Policy OE1 states permission will not be granted for uses which are likely to become

detrimental to the character or amenities of surrounding properties, and Policy OE3 deals with development which has the potential to cause noise annoyance. The site is situated in a residential area and part of the proposal is for an independent religious meeting room. It is considered, due to the location of the building, car-park and access road, and the possible activities generated from the proposed use, this would result in increased noise and disturbance to adjoining properties (possibly at anti-social times of the day) including that of Little Hammonds and any future occupiers of that property, and therefore would reduce the residential amenities of these nearby properties to below a level they could reasonably expect to enjoy. As such, the proposal is considered contrary to policies OE1 and OE3 of the UDP (Saved Policies September 2007).

There is further concern regarding what measures are in place to prevent any intensification of use if a permission were to be issued or if/how these matters could be reasonably controlled in perpetuity.

#### **7.09 Living conditions for future occupiers**

Not applicable to this application.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The application involves the erection of a religious meeting room in the rear garden of Little Hammonds, this would involve the provision of a new access driveway to the side of the existing property and a car park to accommodate 9 vehicles and two cycle stands.

Amended plans have now been received which now show the public footpath to the site being extended to the entrance of the Cricket Club Site and revisions to the access road within the site to provide adequate passing areas and pull-off provision. As such, subject to appropriate conditions being applied, no objection is raised on the highways aspect of the proposals and the application is considered to comply with the intentions of policies AM7 and AM14 of the UDP (Saved Policies September 2007).

#### **7.11 Urban design, access and security**

These issues have been considered in Sections 7. and 7.

### **7.12 Disabled access**

The plans show the provision of a ramped access, internal level floor area, accessible WC facilities and disabled parking space provided directly adjacent to the main entrance. However, it is recommended that should permission be granted appropriate conditions/informatives are applied. Therefore subject to condition the proposal is considered to comply with the the Council's HDAS: Accessible Hillingdon

### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

### **7.14 Trees, Landscaping and Ecology**

The Trees and Landscape Officer has been consulted and considers that the twenty-four trees on the site contribute to the amenity and arboreal/rural character of this part of the Conservation Area.

The large, middle-aged to mature, Oak, Lime, Chestnut, Beech, Cedar and Sycamore trees on the road frontage and in the rear garden, including those fairly close to Dairy Farm Lane, are subject to Tree Preservation Order Number 3 (TPO 3). The other, smaller, immature trees on the site are protected by virtue of their location in the Conservation Area. The groups of trees on the road frontage are part of a larger, linear group, including similar trees at the Cricket Club (car park). The trees and groups of trees are, in terms of Saved Policy BE38 of the UDP, landscape features of merit that should be retained as part of any development of the site. There is also a 5m-high Cypress hedge along the western side boundary with the Cricket Ground, which provides a low-level screen and should be retained or replaced as part of any development.

The revised scheme makes provision for the protection and long term retention of all of the valuable trees on the site. It also includes outline landscape proposals including a new Hornbeam hedge screen alongside the proposed access/driveway to the meeting room and car park at the rear of the site, in replacement of the existing hedge, and several new trees in the rear garden to reinforce the existing features and increase the tree cover. There is also scope for additional trees in the southern part of the site and the planting of new trees behind the wall on the road frontage, in replacement of dead/dying trees removed previously.

Therefore, subject to a number of conditions being applied to confirm these issues, the application is considered to comply with Policy BE38 of the UDP (Saved Policies September 2007)

### **7.15 Sustainable waste management**

Policy 5.17 of the London Plan requires that new developments make adequate provision for the storage of waste and recycling on site. The layout plan shows the provision of a bin storage area adjacent to the proposed vehicular access point to the site and should a permission be issued it is recommended that details of these facilities are submitted for approval and then required to be implemented before the use commences.

### **7.16 Renewable energy / Sustainability**

It has been considered that all areas of the building would have a source of natural light and therefore comply with the intentions of Policy 5.3 of the London Plan (2008) and it is further considered if a permission were to be issued further enhancements could be secured by condition.

### **7.17 Flooding or Drainage Issues**

Not applicable to this application.

### **7.18 Noise or Air Quality Issues**

See impact on neighbours

#### **7.19 Comments on Public Consultations**

With regard to point 1, the site is not within or adjoining the Green Belt. With regard to points 4 and 11, whilst rights of light and amenity are protected through planning controls, the loss of a view or devaluation of properties are not material to the consideration of planning applications. In relation to point 19 if permission were granted, this would not allow for a residential use. The remaining points are addressed in the full report.

#### **7.20 Planning Obligations**

Not applicable to this application.

#### **7.21 Expediency of enforcement action**

Not applicable to this application.

#### **7.22 Other Issues**

None

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

### **9. Observations of the Director of Finance**

Not applicable to this application.

### **10. CONCLUSION**

In summary, whilst it is considered the proposed extension to the existing property would not result in a material loss of amenity to the surrounding area or neighboring properties, the proposed building in the rear garden and the associated use, together with its access road and car-park would have a detrimental impact, both visually on the character and

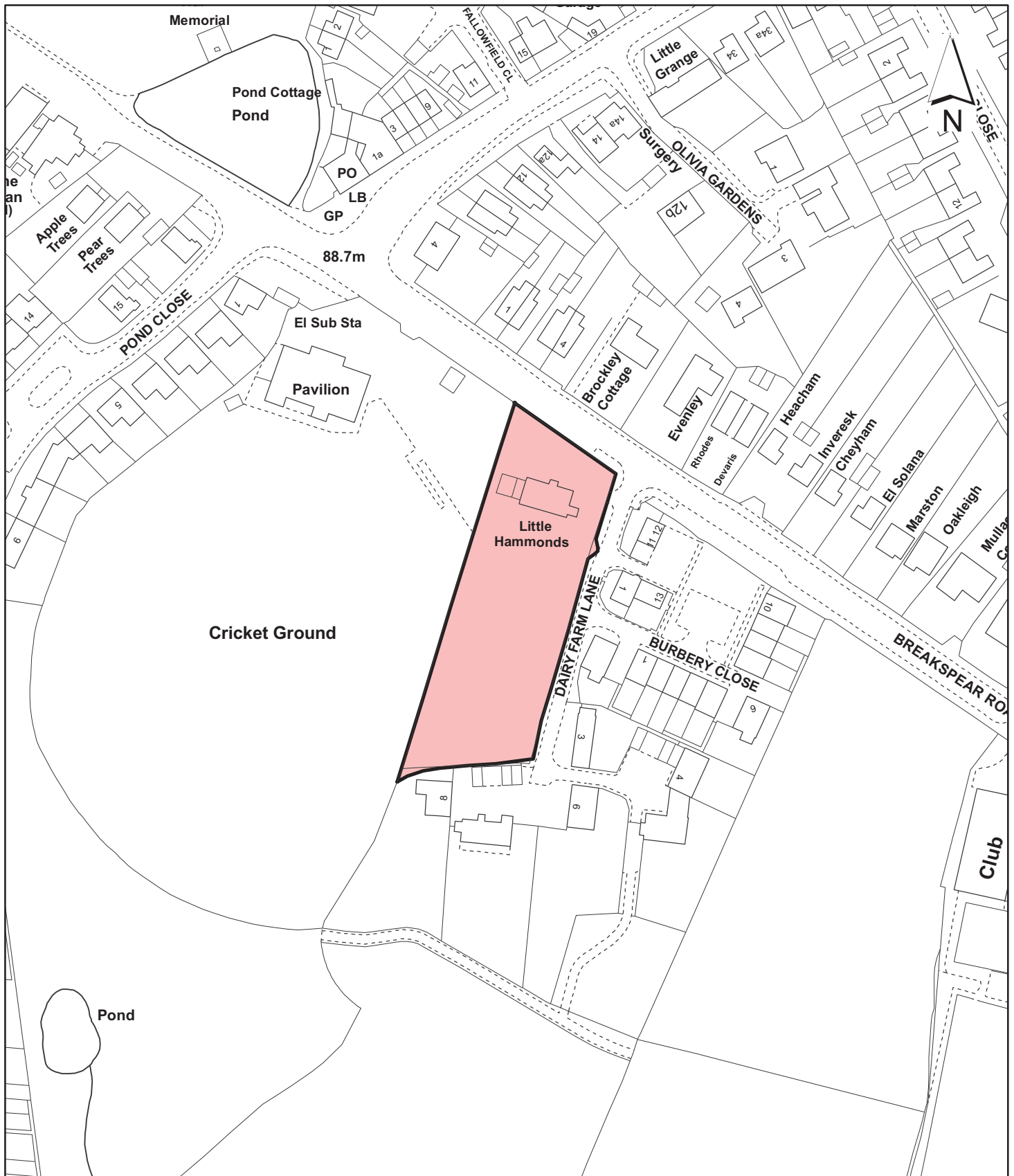
appearance of its surroundings and due to the potential activities generated, which would result in increased noise and disturbance to adjoining properties (possibly at anti-social times of the day) reducing their residential amenities to below a level they could reasonably expect to enjoy. As such, the proposal is considered contrary to policies BE4, BE13, OE1, OE3, R9 and R10 of the UDP Saved Policies (September 2007).

## **11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies September 2007  
The London Plan (2008)

**Contact Officer:** Catherine Hems

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**Little Hammonds  
Breakspeare Road North  
Harefield**

Planning Application Ref:

**35910/APP/2011/718**

Planning Committee

**North** Page 93

Scale

**1:1,500**

Date

**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** 1 HARVIL ROAD HAREFIELD

**Development:** Variation of conditions 1 and 2 of planning permission ref. 13701/APP/2004/193 dated 30-04-2004 to allow the private care hire/chauffer business to operate 24 hours a day (retention of part of shop as private car hire/chauffeur business)

**LBH Ref Nos:** 13701/APP/2011/2334

**Drawing Nos:** Location Plan to Scale 1:1250

**Date Plans Received:** 27/09/2011 **Date(s) of Amendment(s):**

**Date Application Valid:** 29/09/2011

### 1. SUMMARY

The application is for the variation of condition 1 (Hours of Operation of Private Car Hire/Chauffeur Business) and condition 2 (Opening Hours for the Office of the Private Car Hire/Chauffer Business) of planning application reference 13701/APP/2004/193 to allow for 24 hour operation. It is considered that the proposed variation of condition would result in an unacceptable level of noise and disturbance to the neighbouring residential dwellings and is, therefore, recommended for refusal.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

#### 1 NON2 Non Standard reason for refusal

The proposed operation of a 24 hour private vehicle hire and chauffeur business would be out of character with the surrounding predominantly residential area and would result in increased noise disturbance and harm to the residential amenity of the neighbouring dwellings. The proposal is, therefore, contrary to Policies OE1 and OE3 of the Hillingdon Unitary Development Plan (Saved Policies, September 2007).

## INFORMATIVES

#### 1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### 2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
SPD-NO	Noise Supplementary Planning Document, adopted April 2006

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application relates to a ground floor commercial unit located at the junction between Harvil Road and Moorhall Road. The upper floor of the property is in use as residential flats, with the adjacent properties in use as retail at ground floor level and residential at first floor.

The application property and the adjacent retail parade is set back from the highway by the slip road and parking area, which runs parallel to Harvil Road and Moorhall Road.

The site is situated within a developed area as identified in the policies of the Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### 3.2 Proposed Scheme

The application is for planning permission for the variation of Condition 1 (Hours of Operation of Private Car Hire/Chauffeur Business) and Condition 2 (Opening Hours for Office of the Private Car Hire/Chauffeur Business) of planning application reference 13701/APP/2004/193 to allow for 24 hour operation of the existing Private Car Hire/Chauffeur Business business at No.1 Harvil Road.

#### 3.3 Relevant Planning History

13701/APP/2001/1426 1 Harvil Road Harefield

CHANGE OF USE OF PART OF PROPERTY FROM PHOTOGRAPHY SHOP TO PRIVATE CAR HIRE OFFICE

**Decision:** 21-11-2001 ALT

13701/APP/2004/193 1 Harvil Road Harefield

RETENTION OF PART OF SHOP AS PRIVATE CAR HIRE/CHAUFFEUR BUSINESS

**Decision:** 22-04-2004 Approved

13701/B/81/1515 Michaels Store, 1 Harvil Road Harefield

Householder dev. (small extension,garage etc) (P) (\*INCORRECTLY REG. BELONGS TO 2539/1 HARVIL ROAD).



**Decision:** 25-11-1981    Approved

13701/C/85/1810            Michaels Store, 1    Harvil Road Harefield  
Change of use to Retail use 12sq.m.(P)

**Decision:** 06-12-1985    Approved

#### **Comment on Relevant Planning History**

In 2004 planning permission was granted for the change of use of the ground floor of the property to use for a Private Car Hire and Chauffeur Business. As part of the decision for this application the following conditions were added in relation to the hours of operation at the site:

##### Condition 1

The premises shall not be used for the private car hire/chauffeur business during the hours of 2300 and 0800 Mondays to Sundays

##### REASON

To protect the amenities of the local residents

##### Condition 2

The premises shall only operate as an office for the private car hire/chauffeur business during the hours of 0800 and 18:00 Mondays to Sundays.

##### REASON

To protect the amenities of the local residents

The application site was reported to enforcement and a case opened against the property (ENF/75/11/) after the business was in operation outside of the conditioned hours.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
OE1	Protection of the character and amenities of surrounding properties and the local area

OE3 Buildings or uses likely to cause noise annoyance - mitigation measures  
SPD-NO Noise Supplementary Planning Document, adopted April 2006

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

30 neighbouring properties were notified of the proposed development. Two responses have been received, one in objection to the proposal and one in support.

The objection was based on the following grounds:

- The site has already been in operation outside of the conditioned hours, which has led to increased noise disturbance.
- The area is predominately residential and the operation of the business late at night would cause harm to the residential amenity of the neighbouring properties.
- Increased litter in the area.

Officer Comments: There would be no direct correlation between the use of the site on a 24 hour basis and an increasing littering above the existing level at the site. The other objections are considered in the main body of the report.

The letter in support of the application was on the basis of the added value to the community.

In addition the applicant submitted a petition containing 29 signatures in support of the increased opening hours, as part of the application.

### **Internal Consultees**

Environmental Protection Unit:

On the 14th February 2011 EPU received a complaint of alleged noise nuisance from the operation of this premises, from a resident of Harvil Road. It was alleged that the office was frequently in use until 2am.

As part of this investigation, having checked the permitted hours of use against the hours that trading was reported by the resident, the matter was referred to Planning Enforcement.

I was subsequently advised that the premises would be applying to vary their planning permission and enforcement action would not proceed pending this outcome.

However, having discussed the continued impacts reported by the resident, I do not believe a 24/7 use for this office can be supported or is suitable to this locality.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The application is for a variation of condition to allow for the 24 hour operation of the site for the existing use as a private car hire and chauffeur business. Given that the use has

already been granted permission in 2004, the principle of a car hire/chauffeur business on the site is acceptable.

**7.02 Density of the proposed development**

Not applicable to this application.

**7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application site is not within any designated Conservation Areas or Area of Special Local Character.

**7.04 Airport safeguarding**

Not applicable to this application.

**7.05 Impact on the green belt**

The application site is outside of the Green Belt.

**7.06 Environmental Impact**

Not applicable to this application.

**7.07 Impact on the character & appearance of the area**

The proposed variation of condition would result in no material change in the form of the building and would, therefore, be in compliance with Policies BE13, BE15 and BE19 of the adopted UDP (Saved Policies September 2007).

**7.08 Impact on neighbours**

Whilst the application site is located within a parade of retail units, the wider characteristic of the area is a residential estate. A number of residential dwellings are located above the retail units in the parade and the nearest residential properties on Harvil Road and Moorhill Road are set 30 metres and 35 metres, respectively, from the application property.

Due to this, the operation of a 24 hours business would be out of character with the surrounding residential area and would lead to an unacceptable level of noise and disturbance. This would be from customers attending the premises, drivers going from and returning to the premises and the general noise of car doors being shut and vehicles arriving and departing, all at a time when there is no other activity in the vicinity. This is evidenced by the fact that use has been operating outside the hours stipulated in the conditions set out above and resulted in complaints of noise disturbance. The Environmental Protection Unit have judged the ongoing impact of a 24 hour opening and deemed the noise impact to the neighbouring residential dwellings as unacceptable.

Therefore, the proposal is considered to contravene Policies OE1, OE3 and BE19 of the adopted UDP (Saved Policies September 2007) and would be harmful to the residential amenity of the neighbouring residential properties.

**7.09 Living conditions for future occupiers**

Not applicable to this application.

**7.10 Traffic impact, car/cycle parking, pedestrian safety**

Planning permission was granted for the use of the site as a private car hire and chauffeur business under application reference: 13701/APP/2004/193. In the determination of this application no objection was raised in relation to the traffic impact and car parking and, therefore, the use of the site would still be considered acceptable under Policies AM7 and AM14 of the adopted UDP (Saved Policies September 2007).

**7.11 Urban design, access and security**

No urban design, access or security issues for determination in this application.

**7.12 Disabled access**

Not applicable to this application.

**7.13 Provision of affordable & special needs housing**

Not applicable to this application.

**7.14 Trees, Landscaping and Ecology**

Not applicable to this application.

**7.15 Sustainable waste management**

Not applicable to this application.

**7.16 Renewable energy / Sustainability**

Not applicable to this application.

**7.17 Flooding or Drainage Issues**

Not applicable to this application.

**7.18 Noise or Air Quality Issues**

The proposed development would result in an unacceptable level of noise disturbance to the neighbouring residential properties during the evening and early morning hours. Therefore, the proposed development would contravene Policies OE1, OE3 and BE19 of the adopted UDP (Saved Policies September 2007).

**7.19 Comments on Public Consultations**

No further comments in relation to the public consultations.

**7.20 Planning Obligations**

No planning obligations are required for the determination of this application.

**7.21 Expediency of enforcement action**

The use of the premises outside the hours controlled by the above conditions is the subject of an ongoing enforcement investigation.

**7.22 Other Issues**

None.

**8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

**9. Observations of the Director of Finance**

Not applicable to this application.

**10. CONCLUSION**

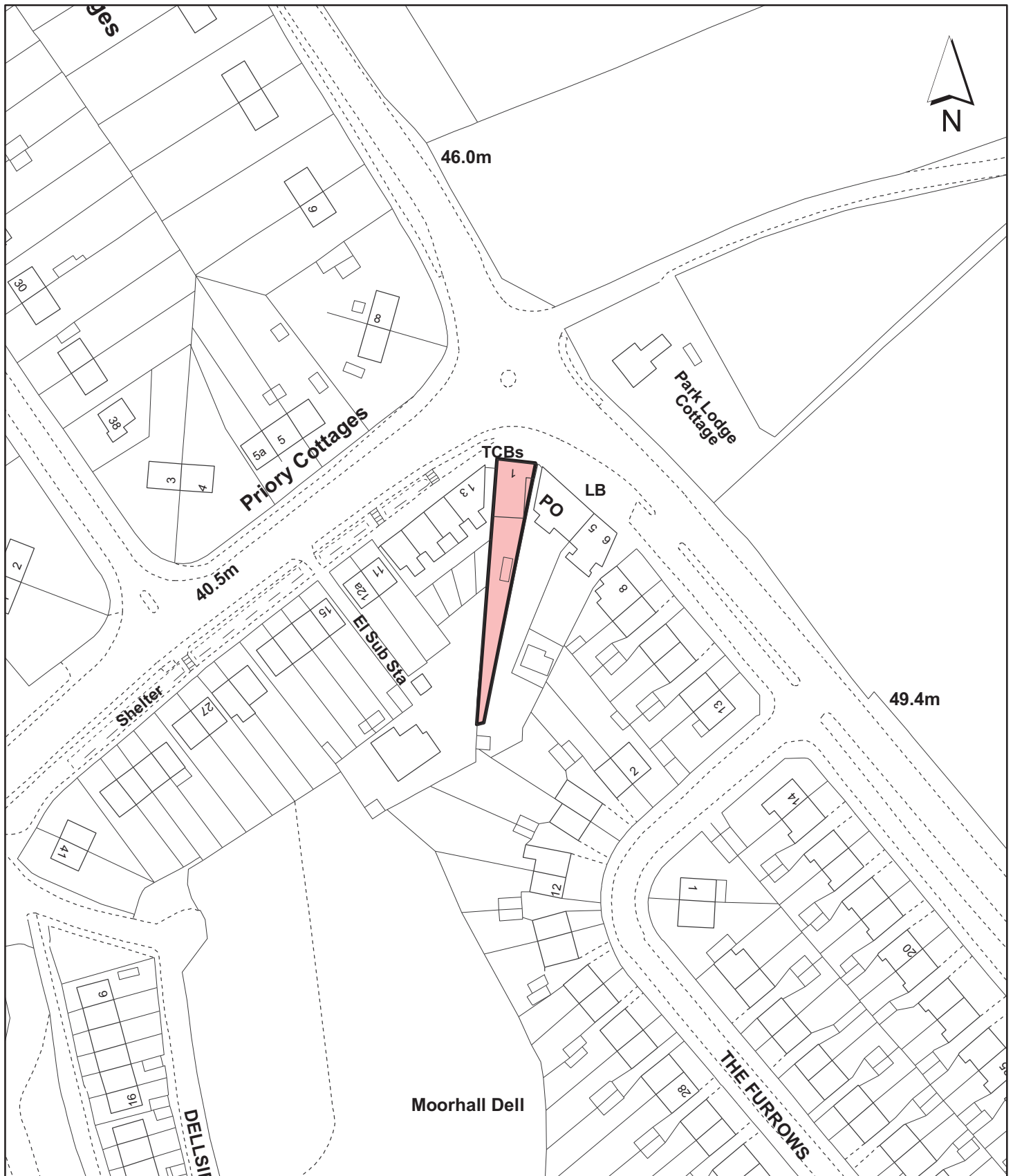
The proposed variation of condition would result in an unacceptable level of noise disturbance to the neighbouring residential dwellings and is, therefore, recommended for refusal.

**11. Reference Documents**

Hillingdon Unitary Development Plan (Saved Policies September 2007).  
The London Plan 2011  
Supplementary Planning Document: Noise (April 2006)

**Contact Officer:** Alex Smith

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**1 Harvil Road  
Harefield**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**13701/APP/2011/2334**

Scale

**1:1,250**

Planning Committee

**North** Page 102

Date

**November  
2011**



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 13 SWAKELEYS ROAD ICKENHAM

**Development:** Change of use from Class A2 (Financial and Professional Services) and Class B1 (Business) to Class C3 (Dwelling Houses) to include 3 x 1-bed, 1 x bedsit and 1 x 2-bed self-contained flats involving conversion of roof space of rear building with a dormer to front and alterations to elevations of front building

**LBH Ref Nos:** 19121/APP/2011/2066

**Drawing Nos:** 11-070-LS  
3015-PL-1.04 Rev. A  
3015-PL-2.01 Rev. E  
3015-PL-2.02 Rev. E  
3015-PL-2.03 Rev. D  
3015-PL-2.04 Rev. C  
3015-PL-3.01 Rev. D  
3015-PL-3.02 Rev. F  
3015-PL-3.03 Rev. C  
3015-PL-3.04 Rev. F  
3015-PL-3.05 Rev. A  
Design and Access Statement  
3015-PL-1.02 Rev. C  
3015-PL-1.03 Rev. B

**Date Plans Received:** 22/08/2011                      **Date(s) of Amendment(s):**  
**Date Application Valid:** 05/09/2011

### 1. SUMMARY

This application seeks full planning permission for the change of use of an existing A2 and B1 use to additional residential units. The application site is within the boundary of Ickenham Local Centre as designated in the Hillingdon Unitary Development Plan Saved Policies (September 2007). The applicant has failed to provide sufficient marketing history of the properties to show the use as offices is no longer required. The offices are presently occupied by 5 local businesses. The evidence submitted shows that some of the units are unoccupied however this is insufficient to justify the loss of office space within the Core and Secondary Shopping Areas of Ickenham Local Centre. It would therefore be contrary to Policy H8 of the UDP

Furthermore, the accommodation would provide an inadequate standard of living for future occupiers due to the residential units size and layout and is therefore considered contrary to Policies H8 and BE19 of Hillingdon Unitary Development Plan Saved Policies (September 2007), Policy 3.5 of the London Plan (2011) and guidance within Section 4 of the Council's Supplementary Planning Document on Residential Layouts. It is therefore recommended for refusal.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

1                      NON2                      **Non Standard reason for refusal**

The proposal fails to provide sufficient information to demonstrate that the existing A2 and B1 office uses is unlikely to meet a demand for such accommodation in the foreseeable future and would therefore be contrary to Policy H8 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

**2 NON2 Non Standard reason for refusal**

The proposal would provide an indoor living area of an unsatisfactory size for the occupiers of Flats 1 and 2 of the rear building. The proposal would therefore give rise to a substandard form of living accommodation to the detriment of future occupiers contrary to Policies BE19 and H7 (iv) of the Unitary Development Plan Saved Policies September 2007, Policy 3.5 and Table 3.3 of the London Plan (2011) and the adopted Supplementary Document HDAS: Residential Layouts.

**3 NON2 Non Standard reason for refusal**

The proposal due to the lack of outlook afforded to the habitable ground floor rooms would result in an oppressive environment to those rooms. As such the proposal would give rise to a substandard form of living accommodation to the detriment of future occupiers contrary to Policy BE19 of the Unitary Development Plan Saved Policies September 2007 and the adopted Supplementary Document HDAS: Residential Layouts.

**4 NON2 Non Standard reason for refusal**

The proposed dormer window extension, by reason of its size, scale, design, position and bulk, would result in discordant and intrusive feature that would be harmful to the character and appearance of the original property and to the Ickenham Village Conservation Area. Therefore, the proposal would be contrary to policies BE4, BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

**5 NON2 Non Standard reason for refusal**

The development is estimated to give rise to a significant number of children of school age and therefore additional provision would need to be made in the locality due to the shortfall of places in nurseries/schools/educational facilities serving the area. Given a legal agreement at this stage has not been offered or secured, the proposal is considered contrary to Policy R17 of the Unitary Development Plan Saved Policies September 2007.

**INFORMATIVES**

**1 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to



	neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H8	Change of use from non-residential to residential
LE1	Proposals for industry, warehousing and business development
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.9	(2011) Mixed and Balanced Communities
LPP 5.17	(2011) Waste capacity
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture

## **2            152            Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application comprises an L-shaped approximately 560sq.m plot located on the south side of Swakeleys Road in Ickenham. The site contains a two storey end of terrace property with a 5.6m deep two storey return which fronts the main commercial street. There is an attached first floor mid terrace element positioned above an access laneway which provides a passageway (vehicles and pedestrians) to the rear of the site. The front building is situated within Ickenham Core Shopping Area and is occupied by an A1 retail and A2 office on ground floor with the first floor providing approximately 100sq.m of A2 office space.

The access laneway provides an access to a large part single and part two storey building situated 18m back from the main building along the south western boundary. The building has a rectangular footprint that backs onto the rear boundaries of Nos. 13-19 Swakeleys Road. This rear building is currently occupied by 7 individual B1 office units on ground floor with a 2 bedroom flat above. Directly in front of this building is an area of hardstanding approximately 160sq.m in area which provides car parking related to the existing office use.

The site is bounded to the east by the Ickenham Inn Public House, with a commercial garage positioned directly behind the pub, to the west by a A1 retail store with storage units to the rear, to the north by Swakeleys Road, beyond which are residential property and to the south by the rear gardens of Nos. 7-9 Almond Avenue.

The entire site falls within the Ickenham Local Centre and within Ickenham Village Conservation Area as identified in the saved UDP, September 2007.

#### **3.2 Proposed Scheme**

This application seeks full planning permission for the change of use of existing office accommodation to 4 x 1 bedroom flats and 1 x 2 bedroom flat. The property to the front of the site would expand the A1 retail element at ground floor and would include a 1 x 2 bedroom flat/ maisonette partly on the ground floor and partly on the first floor and a 1 x bedroom flat on the first floor.

The building to the rear would provide 2 x 1 bedroom flats and part of the 1 bedroom flat/studio unit on the ground floor with a roof conversion providing a bedroom and bathroom within a mezzanine floorspace. Each unit would provide one or two bedrooms, a living/dining room with integrated kitchen unit, and a bathroom.

Externally there would be no changes to the existing doors and windows. Within the roof slope of the rear building, a dormer extension would be centrally located in the single storey element. It would measure 3.8m in width by 1.6m height projecting 3m out from the roof slope.

The proposal would include a small area of amenity space to the flank of the rear building which would be associated with Flat No.3 with proposed soft landscaping along the side boundaries. A total of 8 car parking spaces would be provided, 6 adjacent to the site's western boundary and a further 2 in front of the rear building. Two cycle stores would also be provided.

#### **3.3 Relevant Planning History**

19121/B/78/0298            13-15 Swakeleys Road Ickenham  
Residential development-1 units (Full) (P)

**Decision:** 28-11-1978    Approved

19121/C/78/1012           13-15 Swakeleys Road Ickenham  
Listed building consent to dev/alter (P)

**Decision:** 13-10-1978    Approved

19121/G/80/2041           13-15 Swakeleys Road Ickenham  
Change of use to solicitor's office.

**Decision:** 10-02-1981    Refused

#### **Comment on Relevant Planning History**

No recent planning applications on the site. The original office unit to the rear received planning permission in 1974 (reference 19121/74/0442).

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- |      |   |
|------|---|
| BE4  | New development within or on the fringes of conservation areas  |
| BE13 | New development must harmonise with the existing street scene.  |
| BE15 | Alterations and extensions to existing buildings  |
| BE19 | New development must improve or complement the character of the area.   |
| BE20 | Daylight and sunlight considerations.   |
| BE21 | Siting, bulk and proximity of new buildings/extensions.   |
| BE23 | Requires the provision of adequate amenity space.   |
| BE24 | Requires new development to ensure adequate levels of privacy to neighbours.  |
| BE38 | Retention of topographical and landscape features and provision of new planting and landscaping in development proposals. |
| H4   | Mix of housing units  |
| H8   | Change of use from non-residential to residential   |
| LE1  | Proposals for industry, warehousing and business development  |
| LE4  | Loss of existing industrial floorspace or land outside designated Industrial and Business Areas                           |
| OE1  | Protection of the character and amenities of surrounding properties and the local   |

	area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE5	Siting of noise-sensitive developments
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
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LPP 5.17	(2011) Waste capacity
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **5th October 2011**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

37 local owner/occupiers consulted, 2 replies received objecting to the proposal on the following grounds:

(i) The Council should be supporting local business and not the loss of the only service building in the area.

(ii) It seems pointless in getting rid of the only service office space to build flats when there are

already 50 flats being building adjacent to West Ruislip Tube which would better service the need.  
(iii) Traffic issues from the proposed use.

A petition has also been received with over 200 signatures against proposal objecting to the proposal on the following grounds:

- (i) The existing buildings are presently home to 5 local businesses and the disruption caused from a potential approval may impact the future of these businesses;
- (ii) The site represents the only service office buildings within the Ickenham Area;
- (iii) It would lead to the removal of a valuable local business resource in the area;
- (iv) The proposal represents overdevelopment of the site;
- (v) The proposal fails to provide adequate amenity space for future occupiers;
- (vi) It would lead to a cramped residential development;
- (vii) There is already an abundance of housing supply in the area, in particular, RAF West Ruislip site already adding 415 new homes in the general area;
- (viii) Traffic generated from the proposed change of use.

Ickenham Residents Association:

Having discussed this application at a full meeting of the committee this Association wishes to object to the proposal. We list below, in no particular order our reasons for objection.

- a. We do not feel this is a particularly desirable or appropriate site for the development of housing.
- b. We believe the current use as small offices meets a current and proven local need.
- c. We feel the current offices add to the viability of Ickenham's Local Centre.
- d. We believe the parking for both the retained retail and the proposed Flats to be inadequate.
- e. We consider the proposed Flats to be of cramped proportions with no visible Amenity space.
- f. We are concerned about the possible use of the Area outside the 2 Bed Flat at second floor level showing double casement doors on to a possible veranda/balcony, which if so, would give rise to overlooking of other properties and their subsequent loss of privacy.
- g. There does not appear to be any provision for pedestrian access to the Flats.
- h. There is a discrepancy between the application and the drawings where the application mentions change to C3 and the drawings show C1. We are sure this is a typing error but, just in case, if it were to be C1 our objection would be even stronger.

### **Internal Consultees**

Conservation Officer:

This property, in the shopping parade in Ickenham Conservation Area would remain in retail use at ground floor, and there would be no significant changes to its exterior. The office building at the rear of the access drive would be converted to residential use at ground floor with the addition of a roof with dormer at one end. The elevation of the dormer appears to show it as an L shaped structure, which would not be acceptable. As the first floor plan shows a simple rectangular dormer, there is a discrepancy here.

Whilst in planning terms there are issues with this proposal, there are none in design terms (save for clarification on the design of the dormer window), and it is considered that the proposal would not have an adverse effect on the special character or appearance of the Conservation Area.

RECOMMENDATIONS: Acceptable (depending upon clarification of dormer window design)

Landscape Officer:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of

merit and the provision of new planting and landscaping wherever it is appropriate. No trees or other landscape features would be affected by the development and the change of use will have little impact on views into the site, or the landscape setting. There is no space or opportunity for landscape enhancement in this village centre location.

RECOMMENDATIONS: No objection and, in this case, no need for landscape conditions.

Waste Officer:

Waste containers are shown on the plan. I am not certain as to whether these are intended for the residential or retail part of the development. For the 4 flats shown sack collection would be adequate. A point of storage or individual plastic dustbins would be sufficient.

Again for a retail premises dealing in eye care I would estimate sack collection a more cost effective and practical option than bulk bin commercial waste collection. If a bulk bin is needed for the commercial unit I would make the usual points:

a) The bulk bin should be sited on an area of hard-standing, with a smooth surface, so that it can be washed down with water and disinfectant. The surface should be cambered so the run off follows

towards a proper drain.

b) The collectors should not have to cart a bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard). The collection crew would therefore need to access the

storage point near the shop. Alternatively the owners would have to present the bulk bin at an agreed collection point on the allocated day.

c) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the path is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.

Access Officer

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted January 2010.

As the existing shop unit will essentially remain the same, allowing only a small bedsit at ground floor level, it is recommended that the above policy is not applied to this development application. The Lifetime Home standards could not be incorporated within the available space.

Conclusion: acceptable.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The application site falls within the Ickenham Local Shopping Centre as designated in the Hillingdon Unitary Development Policies (September 2007) (UDP) which aims to protect A1 retail uses. The proposed use would not lead to a loss of any retail units and would therefore not reduce the vitality or viability of the Core Shopping Area.

Policy H4 of the UDP states that 1 and 2 bedroom units would be suited for town centre location and although the proposal is not within a Town Centre, the principle of this policy would apply to Local Centres also and Policy H8 focuses on non-residential conversions and states that conversions would be allowed where the existing use is unlikely to meet a demand for such accommodation in the foreseeable future.

The applicant has submitted a supporting statement highlighting the letting history on the property. The unoccupied offices have been advertised on Baker Pearce (estate agents) website and within the local Observer newspaper. The information provided identifies 3 office units that are currently on the market. Suites 3(15sq.m floor space) and 6 (13sq.m) in the rear building have been on the market since August 2010. Both of these units are marketed on flexible rent. While an office space of 52sq.m within the front building has been marketed since October 2010. The statement indicates that the marketing of this front unit is seeking a higher rent value than previously leased.

The Statement highlights the poor demand of the office commercial market at present and identifies reasons for this poor demand including:

- (i) fewer businesses looking to take on commercial space
  - (ii) shifting trends towards individuals and small businesses working from home
  - (ii) the continuous conversion of larger office complexes into service office space which are more appealing to smaller businesses with shorter leases and ancillary services.
- It also includes a list of service offices in the area with empty suites that the applicant is competing with.

The supporting information received fails to justify the loss of these prominent A2 and B1 units within Ickenham Local Centre. Although there are currently 3 units advertised for a period of time, most of the building remains occupied. Information received indicates that there are presently 5 individual companies utilising the building. There is no evidence submitted by the applicant to counteract this claim. The marketing evidence suggests that the unoccupied units have been advertised in the local paper, the estate agents website and to the front of the building. No other marketing incentives (such as reducing rent or refurbishment of interior space) in order to attract potential leaseholders has been carried out. The supporting information seems to indicate that the owner is seeking a higher rent for the available front office unit than previously demanded and in the current economic environment would possibly contribute to the lack of demand for this unit.

Without any further marketing incentives, it would be difficult to justify the loss of these office units in this prominent location, particularly given the fact that the majority of the space is occupied. It would be important to protect service uses within Local Centres due to their secondary role in contributing to the vitality of A1 retail uses. Taking on board the applicant's arguments, relevant planning policy and the marketing history of the site, it is considered that, on balance, insufficient information has been provided to demonstrate that there is no realistic prospect of the land being used for offices purposes in the future and it would therefore be contrary with Policy H8 and LE1 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### **7.02 Density of the proposed development**

The site has a PTAL of 2. The London Plan 2011 range for sites with a PTAL of 2 in a urban area (an area within 800m walking distance of a district centre) is 200-450 habitable rooms per hectare and 45-120 units per hectare. The proposed conversion would have a density of 286 habitable rooms per hectare, which would comply with Policy 3.4 of the London Plan (2011).

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application site is situated within Ickenham Village Conservation Area, however, the proposal would consist mainly of internal alterations. However, the dormer window located on the rear of the building, whilst set in from the ridge and eaves, given its L-shaped design, overall size, scale, bulk and position would create a discordant and intrusive feature that would be harmful to the character and appearance of the original building, the proposed residential units to the front, and the Conservation Area as a whole. It is

therefore considered contrary to policies BE4, BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

**7.04 Airport safeguarding**

Not applicable to this application.

**7.05 Impact on the green belt**

Not applicable to this application.

**7.06 Environmental Impact**

Not applicable to this application.

**7.07 Impact on the character & appearance of the area**

The dormer window, whilst set back 42m to the rear of the site and therefore not impacting immediately on the street scene, would have a negative impact on the character of the area. The dormer would be positioned within the front roof slope of the rear building and would not improve the overall appearance of the building or the general area. This building is situated to the rear of several residential/commercial units. The dormer would be visible from these properties and the proposed L-shaped design, overall size, scale, bulk and position would create a discordant and intrusive feature that would be harmful to the character and appearance of the original building, the proposed residential units to the front, and the Conservation Area as a whole. It is considered that the proposal would therefore be contrary to policies BE4, BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007).

**7.08 Impact on neighbours**

It is considered that the proposed change of use of the both buildings would not cause a detrimental impact on surrounding properties. There would be no increase in overlooking to residential properties above Nos.15 and No.17 Swakeleys Avenue and the additional dormer window would be positioned over 24m away from first floor bay window on the proposed 2 bedroom flat No.2.

No other additional windows are proposed and it is considered that the distance from the rear building and the rear walls of the properties it projects onto are sufficient, There are no windows proposed on the southern wall which faces onto the rear gardens on Almond Avenue. While the proposed private garden to Flat No.3 would not be overlooked by any of the adjacent properties due to the orientation of the garden facing the western boundary.

As such, the application proposal would not represent an unneighbourly form of development and in this respect would be in compliance with policies BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and section 4.0 of the Hillingdon Design & Accessibility Statement (HDAS): Residential Layouts.

**7.09 Living conditions for future occupiers**

The Council's Supplementary Planning Document: Residential Layouts states that a minimum of 50m<sup>2</sup> internal floor space should be provided for one-bedroom flats, increasing to 63m<sup>2</sup> for two-bedroom units. Flat 1 in the rear of the building is described as studio flat on the application form and floor plan however, it appear to resemble a 1 bedroom flat with a mezzanine floor providing a separate bedroom and bathroom area from the main living space on ground floor. The total internal floor space of Flat 1 would measure 36sq.m which is significantly lower than the space required within the Supplementary Planning Document HDAS: Residential Layouts and the London Plan (2011). Flat 2 in the rear building would also be lower than the SPD and London Plan requirements measuring 45sq.m. Although, the remaining units proposed would be of a suitable size, it is considered that the internal floor space to Flat 1 and 2 would not be



adequate and would lead to a cramped living space for future occupiers. It is therefore contrary to Policies BE19 and H7 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), Policy 3.5 of the London Plan 2011 and Section 4 of the SPD HDAS: Residential Layouts.

Furthermore, the windows serving some of the residential units would not provide adequate daylight especially on the ground floor. The windows serving the living/lounge and bedroom space of flats 2 and 3 of the rear building would project onto the neighbouring property boundary. The proximity of these windows to the boundary is a significant concern as the boundary treatment on the neighbours property could potentially be altered at any stage in the form of a fence/wall or landscaping. A wall or fence up to 2m in height would completely alter the outlook into these rooms causing a detrimental impact on future occupier living conditions.

The ground floor windows of flat 1 in the rear building would project onto a car park. Directly in front of these windows is a car space. The outlook onto the hard surfaced car park would have a detrimental impact on the residents amenity due to the comings and goings of people and vehicles. Given the limited floorspace of this flat, it would lead to a confined living space with privacy reduced and therefore impacting on future occupiers living standards.

Similarly, Flat 2 of the front building would have a ground floor bedroom window projecting onto the access into the site. This is a very narrow passageway with no defining boundary between the flank wall of the building and the vehicular access. The proximity of this access to the bedroom window would question this potential use as a habitable room as it would lie directly adjacent to the main accessway with both noise and security issues to the future occupiers.

It is therefore considered that the windows serving some of the proposed habitable rooms would not be adequate to provide satisfactory level of outlook and light to future occupiers and therefore would have a detrimental impact on their living conditions. It is therefore contrary to Policy BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), Policy 3.5 of the London Plan (2011) and Section 4 of the Council's Supplementary Planning Document HDAS: Residential Layouts.

The Council's Supplementary Planning Document on Residential Layouts states that 20m<sup>2</sup> of external private amenity space should be provided for one-bedroom units and 25m<sup>2</sup> for two bedroom units. It does however, provide exceptions to garden standards where the units proposed are small non-family housing units located in town centres or above shops. In this instance, given the proposal's location within Ickenham Local Centre and the fact the units are small scale (1 bedroom and 2 bedroom units), designed specifically towards the non-family market, an exception to the normal amenity space requirements is acceptable. The application site has provided some amenity space for flat 3 which would be over 30sq.m and some communal amenity space within the courtyard area. Given the proximity of the remaining flats, within walking distance, to public parks and its location inside the Core Shopping Centre, it is considered that it would be difficult to justify refusing the application on the lack of amenity space. The proposal would thus be acceptable in terms of Policy BE23 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007).

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The plans indicate that a total of 9 car parking spaces, would be provided. One of these would be positioned to the front of the retail unit serving the shop with a further two

located to the front of the rear building and the remaining 6 spaces would be situated along the western boundary. Whilst this is below the Council's maximum parking provision standards it exceeds London Plan Policy which requires one space or less to be provided for one/two bedroom units. Although the site has a low PTAL it is located within the Ickenham Centre and within 350m walking distance of Ickenham Underground Station with a bus stop within 20m. Accordingly the proposed parking provision is considered to be acceptable in this location.

Two separate bicycle storage facilities would be provided, with space for seven bicycles. This is considered appropriate and aids security and would be in compliance with the Council's Cycle Parking Standards for C3 residential units. Full details of cycle parking allocation would be required by way of condition should approval be granted. No changes would be made to the existing access arrangements to the site. Notably the car parking spaces take up the same space currently allocated for parking for the existing offices at Panstar House. It is considered that sufficient space would be available for them to manoeuvre.

Accordingly, given it is an existing situation, and that the proposed use would be likely to generate less traffic than offices at the site if fully occupied, it is not considered that refusal could be justified on these grounds.

#### **7.11 Urban design, access and security**

This is considered in sections 7.03 and 7.07.

#### **7.12 Disabled access**

The Access Officer has been consulted and has no objection to the scheme.

#### **7.13 Provision of affordable & special needs housing**

There is no requirement to provide affordable or special needs housing for a development of this size.

#### **7.14 Trees, landscaping and Ecology**

The plans indicate a landscaped amenity area would be provided along the boundary of the site. It is considered that additional landscaping, in the form of a small hedge would enhance the appearance of this area and provide an appropriate buffer between this area and the adjacent car parking spaces. It is also considered that the opportunity should be taken to enhance the existing landscaping to the front of the rear building where necessary. Nevertheless, it is considered that these details could appropriately be required by way of condition should approval be granted. The proposal would thus be acceptable in terms of Policy BE38 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007).

#### **7.15 Sustainable waste management**

The plans indicate that refuse storage facilities for the proposed residential units would be provided where they would be easily accessible to refuse collection vehicles from Swakeleys Road. This location is considered to be acceptable and should approval be granted full details of the proposed bin stores could be required by way of condition.

#### **7.16 Renewable energy / Sustainability**

Given the relatively small scale of the proposal there is no requirement for the development to meet a portion of its energy needs through the use of renewable energy sources.

#### **7.17 Flooding or Drainage Issues**

A condition requiring the provision of sustainable urban drainage and the use of porous materials could be attached to any permission granted. It is therefore considered that proposal would not lead to any potential flooding issues. Furthermore, the site is not

located within a flood zone. The proposal would therefore comply with policy OE8 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### **7.18 Noise or Air Quality Issues**

Part of the proposal would be located above an existing retail unit and adjacent to a Public House. On balance, the proposed development would be acceptable on noise grounds, subject to conditions to ensure appropriate sound insulation and ventilation schemes are provided to allow potential occupiers satisfactory living standards.

It is considered that the proposal would not have any impact on air quality over and above the existing use on site. Accordingly, no objections are raised on air quality grounds.

#### **7.19 Comments on Public Consultations**

The issues raised have been addressed within the main report.

#### **7.20 Planning obligations**

Policy R17 of the UDP states that the Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support the arts, culture and entertainment activities and other community, social and education facilities through planning obligations in conjunction with other development proposals. The Director of Education has advised that a contribution of £3,554 towards school places is required. As no agreement is in place to secure this it is recommended that the application also be refused for this reason.

#### **7.21 Expediency of enforcement action**

Not applicable to this application.

#### **7.22 Other Issues**

None.

### **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other

opinion, national or social origin, association with a national minority, property, birth or other status'.

**9. Observations of the Director of Finance**

Not applicable.

**10. CONCLUSION**

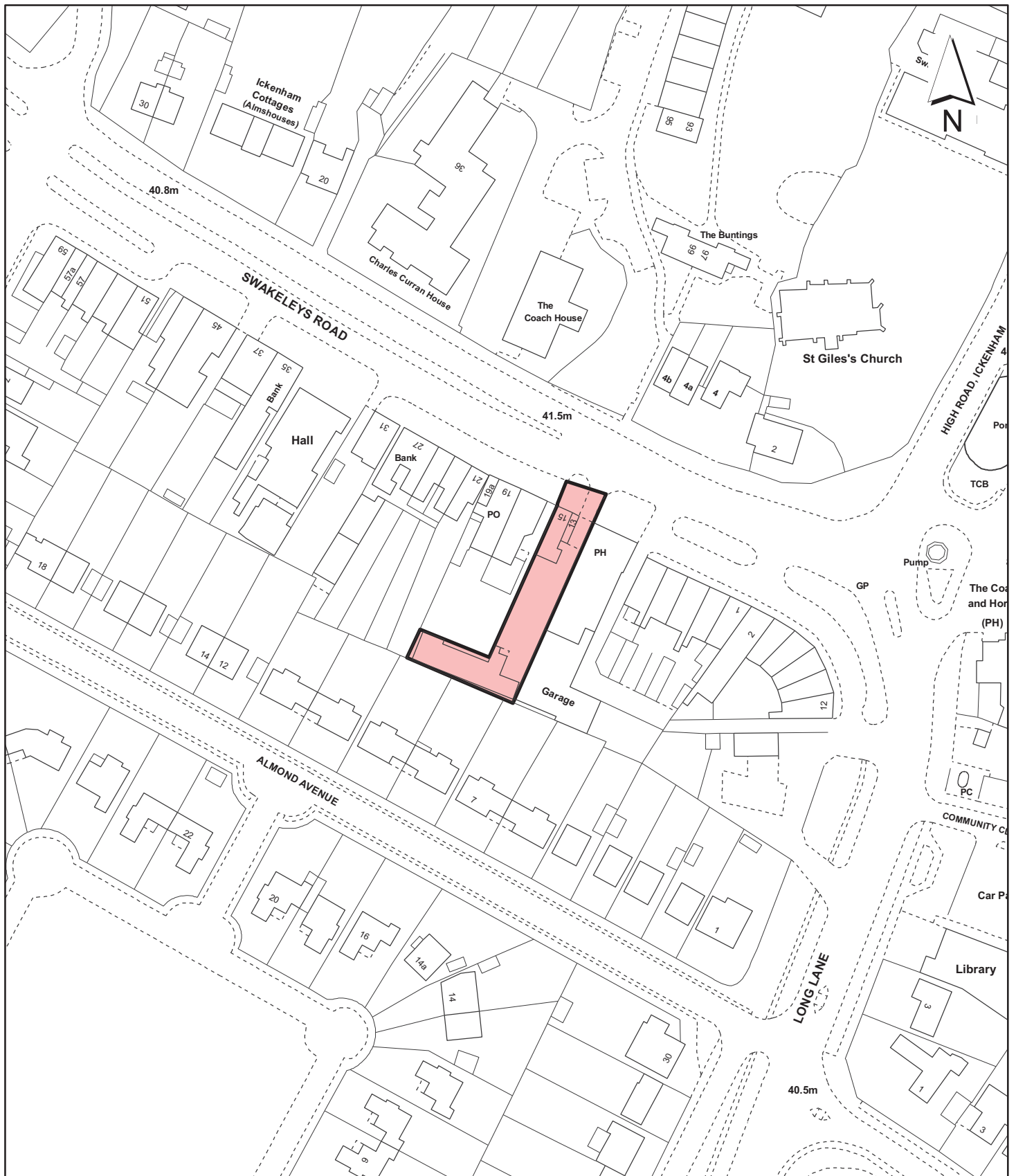
In conclusion, the proposed residential units would fail to be of a suitable standard and size and would lead to poor quality living standard of future occupiers. Furthermore the proposal fails to provide sufficient justification for the loss of the existing A2 and B1 Office uses or that they would not meet a demand for such accommodation in the foreseeable future and as such the proposal would be considered detrimental vitality and viability of the Ickenham Local Centre and is recommended for refusal.

**11. Reference Documents**

Hillingdon Unitary Development Plan Saved Policies (September 2007)  
London Plan (2011)  
Planning Policy Statement 1: Delivering Sustainable Development  
Planning Policy Statement 3: Housing  
Planning Policy Statement 4: Planning for Sustainable Economic Growth  
Planning Policy Guidance 13: Transport  
Planning Policy Guidance 24: Planning & Noise  
Supplementary Planning Document - Noise  
Supplementary Planning Document - Planning Obligations  
Supplementary Planning Document - Accessible Hillingdon

**Contact Officer:** Eoin Concannon

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**13 Swakeleys Road  
Ickenham**

Planning Application Ref:

**19121/APP/2011/2066**

Planning Committee

**North** Page 117

Scale

**1:1,250**

Date

**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

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**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** LAND TO REAR OF 51 AND 53 PEMBROKE ROAD RUISLIP

**Development:** Erection of 2 five-bedroom, two storey detached dwellings with habitable roofspace, associated parking and amenity space

**LBH Ref Nos:** 66982/APP/2011/2221

**Drawing Nos:** 1012-pl-01 Rev B  
1012-pl-02 Rev C  
Location Plan  
1012-pl-03 Rev A

**Date Plans Received:** 12/09/2011      **Date(s) of Amendment(s):**  
**Date Application Valid:** 22/09/2011

### 1. SUMMARY

Planning permission is sought for the erection of 2 five-bedroom houses on a backland site to the rear of Nos. 51 and 53 Pembroke Road. The scheme is considered unacceptable in terms of the principle and the layout and design of the proposal. As such the proposal is recommended for refusal.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

#### 1 NON2 Non Standard reason for refusal

The proposed development, by reason of its siting, design and layout, would fail to harmonise with the existing local and historic context of the surrounding area. The principle of intensifying the residential use of the site to the level proposed through the loss/part loss of private gardens would have a detrimental impact on the character, appearance and local distinctiveness of the area. The proposal is therefore detrimental to the visual amenity of the surrounding area contrary to Policies BE13, BE19 and H12 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 3.5, 7.4 and 7.6 of the London Plan (July 2011) and Planning Policy Statement 3: Housing (June 2010).

#### 2 NON2 Non Standard reason for refusal

The proposed development, and in particular the proposed new access road, would, by reason of its size, layout and design, be out of keeping with the character and appearance of neighbouring properties and the historic context of the area, detrimental to the visual amenities of the streetscene and the surrounding area. The proposal would therefore be contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policies 3.5, 7.4 and 7.6 of the London Plan (July 2011).

#### 3 NON2 Non Standard reason for refusal

The development is estimated to give rise to a significant number of children of nursery/primary/secondary/post-16 school age and therefore additional provision would need to be made in the locality due to the shortfall of places in nurseries/schools/educational facilities serving the area. Given a legal agreement at this

stage has not been offered in a satisfactory form or secured, the proposal is considered contrary to Policy R17 of the Unitary Development Plan Saved Policies September 2007.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application site comprises land located to the north of Nos. 51 and 53 Pembroke Road and is formed from the rear parts of the gardens of these properties. The site is some 0.15 hectare in area. To the north, the site is bound by the rear gardens of Nos. 5, 6 and 7 Green Walk. These properties on Green Walk are within the Ruislip Manor Way Conservation Area. The site is bounded to the east by the rear garden of 55 Pembroke Road and to the west, by the side boundaries of 32 Brickwall Lane and 49 Pembroke Road. The land slightly undulates and there are mature trees and hedges to the north, east and west boundaries.

The surrounding area is residential in appearance and character. The site is within the developed area as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

#### **3.2 Proposed Scheme**

Planning permission is sought for the erection of two detached five bedroom houses to the rear of 51 and 53 Pembroke Road. The pair of houses would be centrally positioned in the plot and set 2.4m apart. Plot 1, to the west, would be located some 6.6m from the side boundary with 32 Brickwall Lane, 26m from the rear elevation of 51 Pembroke Road and at least 16m from the rear boundary with the properties in Green Walk. Plot 2, to the eastern side of the plot, would be set 5m from the side boundary with 55 Pembroke Road, 28m from the rear elevation of 53 Pembroke Road and at least 14m from its rear boundary.

The proposed houses would be to the same design although one would be the mirror image of the other. They would be 11.5m wide, a maximum of 10m deep and measure 5.7m in height to eaves level, with crown roofs at a maximum of 9m in height. Front and rear rooflights would be set in the roofs. The houses would be of handmade stock brickwork at ground floor level and have a white rendered finish to the first floor. Roof slopes would be of plain clay tiles.

The proposed houses would be accessed from a new 4.5m wide driveway set between 51 and 53 Pembroke Road. The driveway would extend by some 40m from Pembroke Road and terminate in a turning head in front of the two proposed houses. Two parking spaces for each house would be provided off the turning head.

The proposed plots would be separated by a 2m high close boarded fence. The same type of fence would divide the rear gardens of 51 and of 53 Pembroke Road from the turning head with a space of some 10m separating the front elevations of the proposed houses from the rear fences to the new plots of 51 and 53 Pembroke Road.

#### **3.3 Relevant Planning History**

66982/APP/2010/1004 Land To Rear Of 51 And 53 Pembroke Road Ruislip

Erection of 2 five-bedroom, two storey detached dwellings with habitable roofspace, associated parking and amenity space.



**Decision:** 27-09-2010 Refused

**Appeal:** 17-06-2011 Dismissed

### **Comment on Relevant Planning History**

Planning permission was refused in September 2010 for the erection of 2 five-bedroom, two storey detached dwellings for the following reasons:

1. The proposed development, by reason of its siting, design and layout, would fail to harmonise with the existing local and historic context of the surrounding area. The principle of intensifying the residential use of the site to the level proposed through the loss/part loss of private gardens would have a detrimental impact on the character, appearance and local distinctiveness of the area. The proposal is therefore detrimental to the visual amenity of the surrounding area contrary to Policies BE13, BE19 and H12 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), Policies 3A.3, 4B.1 and 4B.8 of the London Plan (Consolidated with Alterations since 2004), Planning Policy Statement 3: Housing (June 2010), and guidance within The London Plan: Interim Housing Supplementary Planning Guidance (April 2010).

2. The proposed development and in particular the proposed new access road would, by reason of its size, layout and design, be totally out of keeping with the character and appearance of neighbouring properties and the historic context of the area, detrimental to the visual amenities of the streetscene and the surrounding area. The proposal would therefore be contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policies 3A.3, 4B.1 and 4B.8 of the London Plan (Consolidated with Alterations since 2004).

3. The development is likely to give rise to a significant number of children of school age that would require additional educational provisions, as there is a shortfall of places in schools serving the area. Given that a legal agreement or unilateral undertaking has not been offered to address this issue, the proposal is considered to be contrary to Policy R17 of the Adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the Council's Planning Obligations, Supplementary Planning Document (July 2008).

A subsequent appeal was dismissed and the Inspector's decision letter (of 17th June 2011) made a number of points which are referred to below.

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.

BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
H12	Tandem development of backland in residential areas
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **26th October 2011**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

The occupiers of 61 neighbouring properties and the Ruislip Residents Association were consulted.

7 replies received in support of the proposal stating:

1. Two large houses would be in keeping with the character of the local area and would not detract from the surrounding properties
2. The proposal would have a far less detrimental effect than a multi-complex project.
3. The site is an unsightly area and the proposal would architecturally blend with the area and would improve the locality.

4 replies received objecting to the proposal on the following grounds:

1. The proposal is out of character;
2. Loss of gardens;
3. Traffic would spoil peace and tranquillity;

4. The proposal would be overbearing, bulky and domineering and would result in loss of privacy, loss of open views, security threat as side garden to become exposed to potential intruders, loss of wildlife, noise and parking issues.
5. Pembroke Road already overdeveloped with numerous flats being built nearby and proposal would result in deterioration of local services;
6. would upset wildlife and ruin the neighbourhood;
7. The proposal would result in loss of light, loss of trees and wildlife.
8. Pembroke Road is fast becoming over populated.

A petition with 54 signatures has been received stating:

"We, the undersigned, have no objection to the above proposed planning application"

A petition with 97 signatures has been received stating, in summary, Hillingdon Council is petitioned to take urgent steps to oppose the plans to erect two five-bedroom detached houses. Reasons of opposition can be summarised as: infilling of back gardens resulting in an overcrowded environment, loss of an oasis of green land, inappropriately large houses resulting in loss of peace and privacy, pollution during construction and from vehicles when completed, dangerous access and, over-development.

Thames Water:

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Thames Water would advise that with regard to sewerage infrastructure we would not have any objection to the above planning application. With regard to water supply, this comes within the area covered by the Veolia Water Company.

### **Internal Consultees**

#### **CONSERVATION AND URBAN DESIGN OFFICER:**

The detached houses, Nos. 51 and 53, are two pleasant 1930's villas, two of a group of six similarly designed houses, with front and side hedges and long gardens, with views through the generous gaps between the houses. A previous application on this site sought permission for two detached houses to the rear, reached by an access road between Nos. 51 and 53. This was dismissed on appeal in June 2011 on grounds that the development would cause unacceptable harm to the area's character and appearance. This view was reached from the conclusion that the layout was rigid, lacking interesting spaces or relationships between the two houses, cramped and lacking in visual interest.

As amended, it is considered that the two proposed houses would still be rigid in their layout, their floor plans barely changed, and their turning head changed only in that there would now be a slight kink in it and a hedge along one side. If anything, the designs of the houses have been altered for the worse, being even bulkier and blander. The amendments are considered to be so minor as to in no way assuage the Inspector's concerns. They also fail to address any issues of sustainability, as referred in the Design and Access Statement.

In addition to the failure to meet the concerns raised in the Inspector's decision however, it is considered that the development would be likely to detract significantly from the streetscene. The

Inspector notes the wider than usual gap between the two houses, which, until recently, accommodated hedges and planting, and makes the point that this gives no real impression of the space that exists to the rear. However, the redevelopment of these two gardens with a wide access road, tall fencing, double gates, a wide turning head and two houses (which would loom unpleasantly between and to the side of the two on the frontage) would have a very marked impact on the appearance and character of the streetscene, and give a very vivid and sterile impression of the space that exists to the rear.

There have been previous applications to redevelop the rear gardens behind this part of Pembroke Road, where the Inspectors have drawn attention to the importance of the gaps between the houses, and the views through to the trees in the rear gardens. 55, 57 and 59 Pembroke Road Appeal Ref: APP/R5510/A/08.2072077, for a development comprising apartments for the elderly was dismissed on appeal on 13th November 2008. In her decision the Inspector said the design would not maintain the existing rhythm of the street scene which derives, among other things, from the views of vegetation and sky in the gaps between the detached dwellings, and that this would outweigh the acceptability in principle of redevelopment of the rear gardens.

53-55 Pembroke Road, Appeal Ref: T/APP/G5510/A/99/1029605, for a development comprising a bungalow, chalet and house, with an access road running between Nos. 51 and 53 Pembroke Road. Here the Inspector noted that the generous sized plots and mature gardens provided an attractive, open character to the townscape hereabouts. He also considered that the access between Nos. 51 and 53, where there was mature planting, would remove an attractive natural feature between the two gardens and adversely affect the quiet enjoyment of the rear gardens of the affected properties.

Notwithstanding the poor quality of the submitted scheme to the rear of Nos. 51 and 53 Pembroke Road, which it is considered would need comprehensive re-design to render it acceptable in design terms, it is also considered that the creation of an access and the building over of these rear gardens in this way would have a detrimental impact upon the character and appearance of the streetscene, and that this has been a factor in the two previous appeal decisions cited above.

RECOMMENDATION: Unacceptable

EDUCATION:

The Unilateral Undertaking, with all the crossed out and hand written insertions, is not in an acceptable form. It needs to be a clean and clear copy that is correctly compiled and signed. It seems that an updated existing Unilateral Undertaking has been submitted. This would not be acceptable to the lawyers. Title information from land registry would also need to be seen. Please add the standard education reason as a reason for refusal.

WASTE OFFICER:

The plan does show that a space has been allocated for the storage of waste, which is good practice. However, Hillingdon is not a wheeled bin borough. Bins or other containment would have to be provided by the developer. The residents would be required to present the waste and recycling at the curtilage of the property on the allocated collection days.

ACCESS OFFICER:

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted January 2010.

Whilst these submitted plans do demonstrate that accessibility and the Lifetime Homes Standards

have been considered in detail, further clarity needed in respect of the following:

The floor plan should be amended to confirm that level access, or sloped access with a maximum gradient of 1:20, will be provided from the car parking to the proposed dwelling houses, with a level threshold to allow unhindered wheelchair user entry.

Conclusion: Subject to satisfactory amendments that incorporate the above observations, the proposal would be acceptable form and accessibility perspective.

#### HIGHWAYS ENGINEER:

The site is located in Pembroke Road which is designated as a local distributor road within the Council's UDP. This is an amended planning application submitted on the basis of previously refused planning application number 66982/APP/2010/1004. Submitted plan showing provision of access road layout, refuse collection point and pedestrian visibility splay which are acceptable. However the applicant fails to provide lighting information for proposed access road or indicative location of lighting in accordance to BS 5484 EN312. It is imperative to light an access road of over 40m in length located between dwelling of at least 6.0m high (51 & 53), for security and occupants safety.

No objection is raised on the proposal subject to the following conditions and informative being applied.

#### Conditions:

1. The development shall not be occupied until the hardstanding area including access road and parking spaces have been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by the Local Planning Authority and shall be permanently maintained thereafter to the Authority's satisfaction.
2. The developer shall certify to the Council in writing that the lighting of the access road, turning head and car park area is designed in accordance with BS 5984 EN13201 and implemented prior to first occupation of the development and such lighting is to be maintained thereafter.

#### Informatives

1. The applicant is advised to contact the Council's Highways Team in respect of the construction of the vehicle crossover.
2. It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system

#### TREES AND LANDSCAPE OFFICER:

LANDSCAPE CONTEXT: The site comprises the land forming the northern half of the rear gardens of two houses on the north side of Pembroke Road. There are no significant trees or other landscape features close enough to the proposed development to pose a constraint. However, there are boundary trees and shrubs along the side boundaries and a mature Hawthorn hedge, currently unmanaged and forming small trees along the rear (northern) boundary. These are protected by virtue of being within the Ruislip Manor Way Conservation Area. There are no Tree Preservation Orders on, or close to, the site. No tree survey has been submitted. However, the layout drawing indicates the position and approximate spread of existing trees.

PROPOSAL: The proposal is an amended scheme (see 2010/1004) to build two detached houses with car parking and generous gardens. Pre-application discussion has taken place and is reflected in the minor amendments to the car parking layout and additional (indicative) tree planting (drawing No. 1012-pl-01 Rev B).

LANDSCAPE CONSIDERATIONS: Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No trees or other landscape features will be affected by the development and the proposal includes space and opportunity for landscape enhancement through supplementary planting. In this scheme additional planting is proposed within the front gardens of numbers 51 and 52, either side of the proposed driveway. This will help to ameliorate the appearance of the existing hard surfacing associated with car parking.
- Where parking layouts are altered a part of an extension to a property, at least 25% of the front garden may be required to be maintained for planting and soft landscaping.
- DCLG/EA guidance requires new driveways to be permeable, to meet SUDS requirements.
- There is a highway tree in the footway close to the site access which will require protection
- Hard and soft landscaping associated with the shared driveway will require maintenance. The responsibility for management and maintenance should be clarified either through land ownership or a management agreement.

RECOMMENDATIONS: No objection, subject to the above considerations and conditions TL1, TL2, TL3, TL5 and TL6.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The site is located within an established residential area and forms part of the 'developed area' as defined in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

Key changes in the policy context, since the adoption of the UDP, include the Letter to Chief Planning Officers: Development on Garden Land dated 19th January 2010; the new Planning Policy Statement 3: Housing adopted June 2010 (PPS 3); and the adoption of The London Plan of July 2011.

In relation to National Policy the Letter to Chief Planning Officers clarifies that "there is no presumption that previously developed land is necessarily suitable for housing, nor that all of the curtilage should be developed" and commits to move this clarification to a more prominent position within PPS 3. It further clarifies that "the main focus of the Government's position therefore is that local authorities are best placed to develop policies and take decisions on the most suitable locations for housing and they can, if appropriate, resist development on existing gardens".

The changes to PPS3 have altered the definition of 'previously developed land' to exclude private residential gardens. However, PPS3 does not state that development on previously undeveloped land, including back gardens, will never be acceptable. The alteration to the definition of 'previously developed land' means that Local Planning Authorities must consider all other relevant material planning considerations in greater detail to assess whether or not such considerations outweigh the loss of the private residential garden. Furthermore, paragraph 41 of PPS3 states that 'The National annual target is that at least 60% of new housing should be provided on previously developed land'. It therefore follows that the remainder of new housing has to be provided on previously undeveloped land. Again, PPS3 does not state that housing development on previously undeveloped land cannot be allowed. The outcome of these changes means that Council's will have to assess all material planning considerations more closely and make decisions on a case by case basis.

Policy 3.5 of the London Plan (July 2011) states in part the following:

'Housing developments should be of the highest quality internally, externally and in relation to their context and to the wider environment, taking account of strategic Policies in this Plan to protect and enhance London's residential environment and attractiveness as a place to live. Boroughs may in their LDFs introduce a presumption against development on back gardens or other private residential gardens where this can be locally justified.'

The principle of the development therefore hinges on all other material planning considerations and the quality of the proposed development.

A material planning consideration in this instance is the Inspector's decision letter for the appeal to the previous planning application. Although the appeal was dismissed, the Inspector commented with regard to the principle of residential development

"7. I conclude that in this case the loss of garden land, as proposed in the appeal proposals, would not cause unacceptable harm, and that this factor does not justify the refusal of permission here. In principle therefore, there is no reason why some form of residential development on the site should not be acceptable."

"15. Although residential development on the appeal site is not unacceptable in principle, the present scheme would cause significant harm to the area's character and appearance due to its poor standard of design and layout."

Appeal decisions and comments made in Inspector's decision letters are material considerations and under normal circumstances officers would advise that significant weight be given to appeal decisions. However, in this particular case there are a number of factors which results in officers considering that less weight should be attached to the last appeal decision relating to this site. These are:

- i) The Inspector did not take into account previous appeal decisions relating not only to this site, but adjoining sites which seem to contradict the decision of this particular Inspector and place a much greater weight on the protection of rear garden land;
- ii) The appeal decision pre-dates the adoption of the latest London Plan in July 2011.
- iii) The latest appeal decision appears to contradict the previous decisions, referred to in this report, particularly in regard to the value of rear garden land visually and within the townscape.

Given these factors, officers consider that there is still a case to be made that the principle of the development is not acceptable.

## **7.02 Density of the proposed development**

Policy 3.4 of the London Plan is concerned with optimising housing potential. However, the London Plan also states that residential densities should harmonise with the surrounding area. The site has a PTAL of 3 and is in surroundings classed as "Suburban". Table 3.2 of the London Plan addresses ranges of housing densities acceptable in different settings. The proposal represents a density of approximately 120hr/ha. This is an acceptable density with consideration to Table 3.2 and therefore complies with Policy 3.4 of the London Plan.

## **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a Conservation Area. Manor Way Conservation Area is to the north of the site.

#### **7.04 Airport safeguarding**

The development does not result in any airport safeguarding issues.

#### **7.05 Impact on the green belt**

The site is not located in, or close to, Green Belt.

#### **7.07 Impact on the character & appearance of the area**

The surrounding area is characterised by houses fronting roads. There do not appear to be any houses constructed in the back garden of the houses on this side of Pembroke Road. This part of Pembroke Road, and the surrounding area, is characterised by detached properties with long back gardens, containing various trees and shrubs typical of a suburban area and the layout, scale and design of development in this area is relatively uniform. Officers are not aware of any other properties/plots in the vicinity of the site which have been redeveloped in the same way as this.

It is considered that the layout of the proposed development, on the large rear gardens of existing properties in this suburban area would be particularly out of keeping with the pattern of surrounding development, out of keeping with the character and appearance of neighbouring properties and detrimental to the visual amenities of the area. The proposal would create a new relatively wide access point off Pembroke Road. This would allow clear views of the proposed development to the rear of the existing properties, which it is considered would be out of keeping with the local context and distinctiveness of the area.

In relation to the proposal as amended, in comparison to the refused scheme, it is considered that the houses would still be rigid in their layout, their floor plans hardly changed and their turning head changed only in that there would now be a slight kink in it and a hedge along one side. It is considered that the designs of the houses have, in fact, been altered for the worse, being even bulkier and blander. The amendments are considered to be so minor as to in no way assuage the Inspector's concerns.

In addition to the failure to meet the concerns raised in the Inspector's decision, it is also considered that the development would be likely to detract significantly from the streetscene. The Inspector notes the wider than usual gap between the two houses, which, until recently, accommodated hedges and planting, and makes the point that this gives no real impression of the space that exists to the rear. However, the redevelopment of these two gardens with a wide access road, tall fencing, double gates, a wide turning head and two houses would have a very marked impact on the appearance and character of the streetscene, and give a very vivid and sterile impression of the space that exists to the rear.

There have been previous applications to redevelop the rear gardens behind this part of Pembroke Road, where the Inspectors have drawn attention to the importance of the gaps between the houses, and the views through to the trees in the rear gardens. Examples being the site at 55, 57 and 59 Pembroke Road relating to apartments for the elderly which was dismissed on appeal with the Inspector commenting that the design would not maintain the existing rhythm of the street scene which derives, among other things, from the views of vegetation and sky in the gaps between the detached dwellings, and that this would outweigh the acceptability in principle of redevelopment of the rear gardens.

Also at 53-55 Pembroke Road, for a development comprising a bungalow, chalet and house, with an access road running between Nos. 51 and 53 Pembroke Road with the Inspector noting that the generous sized plots and mature gardens provided an attractive, open character to the townscape hereabouts. He also considered that the access



between Nos. 51 and 53, where there was mature planting, would remove an attractive natural feature between the two gardens and adversely affect the quiet enjoyment of the rear gardens of the affected properties.

The overall layout and design of the proposal, including the creation of backland development and the provision of a new access off Pembroke Road, fails to respect the local context and the distinctiveness of the surrounding area, contrary to UDP Policies BE13, BE19, London Plan Policies 3.5 and 7.4, paragraphs 3.4 and 4.27 of the Hillingdon Design and Accessibility Statement (HDAS): Residential Layouts.

#### **7.08 Impact on neighbours**

The proposed houses would be over 21m from the private amenity spaces of the houses in Pembroke Road, Windmill Hill, Green Walk and Brickwall Lane. This distance is sufficient to ensure that the proposal would not have an overbearing, over dominant or visually intrusive impact on the residential amenities of the occupiers of the houses in those streets. Furthermore, this distance would also ensure that the proposal would not result in a loss of privacy, through overlooking, would not result in a significant increase in overshadowing and loss of sunlight/daylight to those properties, and would create a satisfactory residential environment for the occupiers of the new houses.

The use of the driveway would result in an increase in noise and disturbance to the occupiers of Nos. 51 and 53 Pembroke Road. However, this increase is considered not to be so significant as to justify a refusal of planning permission.

It is therefore considered that the proposal would not harm the residential amenities of the occupiers of adjoining houses through over dominance, visual intrusion, overshadowing and overlooking, in accordance with Policies BE20, BE21, and BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). The new windows would provide adequate outlook and natural light to the rooms they would serve, in accordance with the UDP and paragraphs 4.9 and 4.12 of the HDAS: Residential Layouts.

#### **7.09 Living conditions for future occupiers**

The internal size of the proposed houses would be over 235sq.m which would exceed the requirements of paragraph 4.6 of the HDAS: Residential Layouts for 5 bedroom houses.

It is considered that the houses could be acceptable with regard to Lifetime Homes requirements subject to the imposition of suitable conditions to any planning permission.

Over 350sq.m of private amenity space is proposed for plot 1 and over 250sq.m is proposed for plot 2, both of which would meet the requirements of paragraph 4.15 of the HDAS: Residential Layouts. Therefore the proposal would comply with Policy BE23 of the UDP.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The proposed houses would not lead to a significant increase in traffic generation given their number and location within a residential area. As such, the proposal would comply with Policy AM2 of the UDP.

The Council's standard requires 2 off-street parking spaces for new houses. The submitted plans show 2 off-street parking spaces for each house, in compliance with the above standard. Sheltered cycle parking is also provided.

Therefore, it is considered that the proposal is unlikely to result in an increase in on-street demand for parking, and would meet sustainability objectives, in accordance with Policies AM7, AM9 and AM14 of the UDP, paragraphs 4.33 and 4.39 of HDAS: Residential

Layouts and the Council's Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies, September 2007).

**7.11 Urban design, access and security**

With regards to security, a condition could be attached requiring that the property achieve Secure by Design accreditation, should planning permission be granted.

**7.12 Disabled access**

This is not applicable to this application.

**7.13 Provision of affordable & special needs housing**

This is not applicable to this application.

**7.14 Trees, landscaping and Ecology**

No loss of trees is proposed and the proposed houses would be set a sufficient distance from the existing trees and hedges along the boundary of the site. As such, the proposal would comply with Policy BE38 of the UDP.

**7.15 Sustainable waste management**

Sufficient waste facilities could be provided at the entrance of the site which would allow access by refuse collectors on Pembroke Road rather than having to access the two houses via the driveway. The proposal would comply with paragraph 4.40 of HDAS: Residential Layouts.

**7.16 Renewable energy / Sustainability**

This is not applicable to this application.

**7.17 Flooding or Drainage Issues**

This is not applicable to this application.

**7.18 Noise or Air Quality Issues**

This is not applicable to this application.

**7.19 Comments on Public Consultations**

The third party comments have been addressed in the report.

**7.20 Planning obligations**

The proposed houses would result in a net increase of 7 rooms and as such would fall within the threshold for seeking a contribution towards additional school facilities in the Manor Ward. Given that a Unilateral Undertaking has not been offered in a satisfactory format to address this issue, the proposal is considered to be contrary to Policy R17 of the UDP and the Council's Planning Obligations, SPD.

**8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is

unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

**9. Observations of the Director of Finance**

This is not applicable to this application.

**10. CONCLUSION**

The proposed development is considered to be contrary to the aforementioned policies and as such, this application is recommended for refusal.

**11. Reference Documents**

Hillingdon Unitary Development Plan saved policies September 2007.

Hillingdon Design and Accessibility Statement, Residential Layouts, Supplementary Planning Document, July 2006

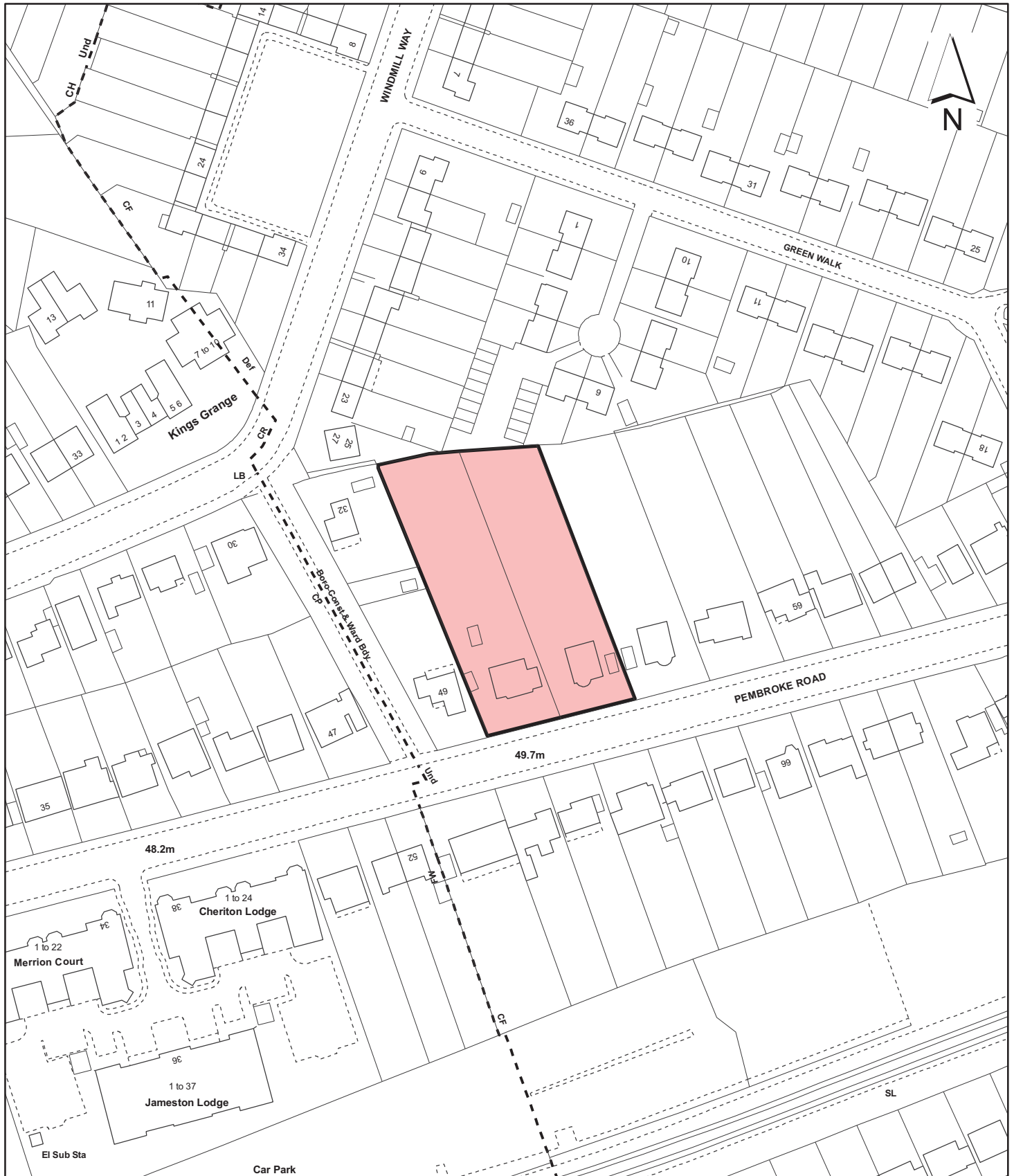
Revised Chapter 4: Education Facilities of the Planning Obligations SPD adopted 23 September 2010

Planning Obligations SPD adopted 15 July 2008

The London Plan 22 July 2011

**Contact Officer:** Jonathan Doe

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**Land to the rear of  
 51 and 53 Pembroke Road,  
 Ruislip**

Planning Application Ref:  
**66982/APP/2011/2221**

Planning Committee  
**North** Page 132

Scale  
**1:1,250**

Date  
**November 2011**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Planning,  
 Environment, Education  
 & Community Services  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111



**HILLINGDON**  
 LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 5 POPLARS CLOSE RUISLIP

**Development:** Single storey side/rear extension.

**LBH Ref Nos:** **61775/APP/2011/1204**

**Drawing Nos:** 0634/Rev. 1 A S1 of S6 (Existing Floor Plans)  
0634/Rev. 1 A S3 of S6  
0634/Rev. 1 A S4 of S6  
0634/Rev. 1 A S5 of S6  
Design & Access Statement  
0634/Rev. 1 A S6 of S6  
0634/Rev. 1 A S1 of S6 (Location Plan and Existing Elevations)

**Date Plans Received:** 19/05/2011 **Date(s) of Amendment(s):**

**Date Application Valid:** 01/06/2011

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application relates to a semi-detached house dating from the 1930's on the south-western side of Poplar Close, a cul-de-sac serving eleven dwellings and a scout hall. Poplar Close is off Ickenham Road, near the junction of Ickenham Road with High Street.

The site is within the Developed Area as identified in the Hillingdon Unitary Development Plan (UDP) and the Ruislip Village Conservation Area.

### 1.2 Proposed Scheme

The proposal is for a side and rear extension that would wrap around a rear corner of the footprint of the existing house. The forwardmost wall of the side extension would be set 3m back from the front corner of the house. The side extension would be 2m wide at its forwardmost wall and increase in width to the rear, to a maximum of 2.7m as the flank of the side extension would follow the line of the side boundary of the plot which tapers out to the rear. The rear extension would be 9.5m, 3.4m deep where it would adjoin the boundary with the attached neighbour, No. 7 and would have a sloping lean-to type tiled roof with a maximum height of 3.45m, sloping down to 2.84m at the eaves. The proposal would provide accommodation as a family room and a w.c./shower-room.

### 1.3 Relevant Planning History

61775/APP/2006/1154 5 Poplars Close Ruislip

CONVERSION OF ROOF FROM HIP TO GABLE END AND INSTALLATION OF A REAR DORMER AND TWO FRONT ROOF LIGHTS (INVOLVING DEMOLITION OF EXISTING DETACHED GARAGE)  
(APPLICATION FOR A CERTIFICATE OF LAWFULNESS FOR A PROPOSED USE OR DEVELOPMENT)

**Decision Date:** 14-06-2006

GPD

**Appeal:**

### **Comment on Planning History**

The house has been extended in the past with a hip to gable roof alteration for a loft conversion under Permitted Development rights. This was undertaken prior to the property being designated as within a Conservation Area.

## **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- 23rd September 2011

**2.2** Site Notice Expiry Date:- Not applicable

## **3. Comments on Public Consultations**

The occupiers of nine neighbouring properties were consulted, a site notice was also posted on site and the application was advertised in the press on 15th June 2011.

A petition signed by forty-five local residents has been received. This makes objections on the grounds that the proposal would be visually detrimental to the Conservation Area, overdevelopment, would overbear and infringe on neighbouring properties, would create a terrace effect, would generate noise, disturbance and other inconvenience, intrusion to private gardens and would create parking chaos.

4 individual representations have been received objecting to the proposal on the following grounds:

- 1) problems caused by past development of the application property;
- 2) plans are of poor quality and lack detail;
- 3) useable size of rear garden has been reduced by a very large brick outbuilding built in 2008 at the bottom of the rear garden;
- 4) application property already sizeably extended;
- 5) irregular shape on plot would be incompatible with surroundings;
- 6) roof would reduce daylight to No. 7 Poplars Close;
- 7) hemming in effect to No. 7 Poplars Close;
- 8) would extend well beyond existing building line;
- 9) does not maintain existing spaces between properties;
- 10) significantly reduces amenity space;
- 11) terracing affect;
- 12) obtrusive, incongruous and cramped overdevelopment of the site, out of keeping with the layout and open character of the surrounding area;
- 13) loss of a significant amount of light and suffer a blockage of the open aspect;
- 14) history of noise and congestion caused by last extension;
- 15) no consultation with direct neighbours;
- 16) would cause disruption to neighbours and others using the road, i.e. nursery and cubs.

Officer Comments: Points 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 16 are covered in the main report. With regard to point 2, the plans are sufficiently detailed to be able to make a decision on the application, point 1, 14 and 15 are not planning matters.

Ruislip Residents Association: The proposals would have a claustrophobic affect, the rear extension would project well beyond the building line of adjacent properties, the character of dwelling would be altered to its detriment and an unfavourable aspect would be created for nearby residents.

Nick Hurd MP has written to register his concerns following contact by a constituent.

Ward Councillor: Has requested that the application be considered at committee.

Conservation and Urban Design Officer:

**BACKGROUND:** This is an attractive semi-detached property from 1930s, and has been added to the Ruislip Village Conservation Area in 2009. The house has been extended in the past with a loft conversion and hip to gable end under permitted development rights. This was undertaken prior to the area being designated as a conservation area. Following the designation, any new extension should be designed to enhance the character of the conservation area.

**COMMENTS:** The scheme proposes a wrap around side and rear extension, following the angular plot boundary. Whilst the extension is set back, this would lead to a poorly designed extension with a tapered side wall. The resulting roof form is very shallow and again, given the angular foot print of the extension, relates poorly to the main house. It is, therefore unacceptable from a conservation and design point of view.

**RECOMMENDATION:** It is felt that the extension should follow the footprint of the main house, which would also resolve the roof form.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

BE4 New development within or on the fringes of conservation areas  
BE13 New development must harmonise with the existing street scene.  
BE15 Alterations and extensions to existing buildings  
BE19 New development must improve or complement the character of the area.  
BE20 Daylight and sunlight considerations.  
BE21 Siting, bulk and proximity of new buildings/extensions.  
BE23 Requires the provision of adequate amenity space.  
BE24 Requires new development to ensure adequate levels of privacy to

neighbours.

AM14 New development and car parking standards.

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

## 5. MAIN PLANNING ISSUES

The main considerations are the design and impact of the extension on the house and wider locality, the impact on the amenities of adjoining occupiers and car parking considerations.

With regard to impact on neighbouring amenity, Policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) is relevant and should be considered. The policy states that planning permission will not be granted for new buildings or extensions which by reason of their siting, bulk and proximity, would result in a significant loss of residential amenity.

The Hillingdon Design and Accessibility Statement Residential Extensions Supplementary Planning Document (SPD) provides the following guidance in respect of house extensions:

With regard to loss of light or outlook to adjoining occupiers, Section 3 of the SPD sets out criteria to assess single storey rear extensions against. This includes the following thresholds:

- Para 3.4: Should not exceed 3.6m in depth on a semi-detached plot;
- Para 3.7: The roof should not exceed 3.4m in height in the case of a pitched roof, including a mono-pitch.

The proposed single storey rear extension would not exceed 3.6m in depth or 3.4m in height. As such, the proposal would accord with the aforementioned policies and guidance. The plot is some 11m wide at the position of the proposed rear extension. Therefore this aspect of the proposal is considered to comply with Policies BE20 and BE21 of the UDP (Saved Policies, September 2007).

With regard to any loss of privacy, it is considered that the proposal would not have an adverse affect on the amenity of adjoining residents. The proposal would involve two side windows, one of which is to the bathroom and the other is a secondary window, thus both could be conditioned to be obscure glazed and non-opening below a height of 1.8m to ensure that there is no loss of privacy to the adjoining occupiers. The proposal is thus, considered to accord with Policy BE24 of the UDP Saved Policies, September 2007 and the Supplementary Planning Document HDAS: Residential Extensions.

It is considered that all the proposed habitable rooms, and those altered by the development, would maintain an adequate outlook and source of natural light. Most of a kitchen wall would be removed to create an archway and a dining room would have extensive glazing where it would adjoin the rear extension. The rear extension would have three units of glazing that would face a southerly direction. The proposal is considered to comply with Policy BE20 of the UDP (Saved Policies, September 2007).

With regard to the design and appearance of the proposal, Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) requires that the layout and



appearance must harmonise with the existing street scene and Policy BE15 goes on to state that extensions must be in keeping with the scale, form and architectural composition of the original building. The application is considered unacceptable due to its contrived design, whereby the extension follows the angular plot boundary. This has resulted in a poorly designed extension with a tapered side wall. The resulting roof form is very shallow and again, given the angular foot print of the extension, relates poorly to the main house. It is, therefore unacceptable from a design point of view. Although the proposed extension is set back into the plot it would be visible from a public vantage and would neither preserve nor enhance the character of the Conservation Area in which it is set. The proposal is therefore contrary to Policies BE4, BE13, BE15 and BE19 of the UDP (Saved Policies, September 2007).

The house has at least four bedrooms and as such would require 100sq.m garden space to meet the standard set out at paragraph 3.13 of the Supplementary Planning Document HDAS: Residential Extensions. Taking into account an outbuilding in the back garden, an amenity area of some 144sq.m would remain. The proposal is acceptable with regard to Policy BE23 of the UDP (Saved Policies, September 2007).

Policy AM14 of the UDP (Saved Policies September 2007) refers to the Council's car parking standards contained under Annex 1. The standards indicate that a maximum of 2 car parking spaces would be permitted in order to comply with the policy. The former front garden of the application property has been hardsurfaced and can accommodate two cars. The proposal would comply with Policy AM14 of the UDP (Saved Policies, September 2007).

## **6. RECOMMENDATION**

### **REFUSAL for the following reasons:**

#### **1 NON2 Non Standard reason for refusal**

The proposed side extension, by reason of its size, scale and design, particularly the awkward roof design, would result in an incongruous feature and cramped appearance that would relate poorly to the existing dwelling, and would therefore be detrimental to the appearance and character of the existing dwelling, the street scene and the Ruislip Village Conservation Area, contrary to Policies BE4, BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

## **INFORMATIVES**

### **Standard Informatives**

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

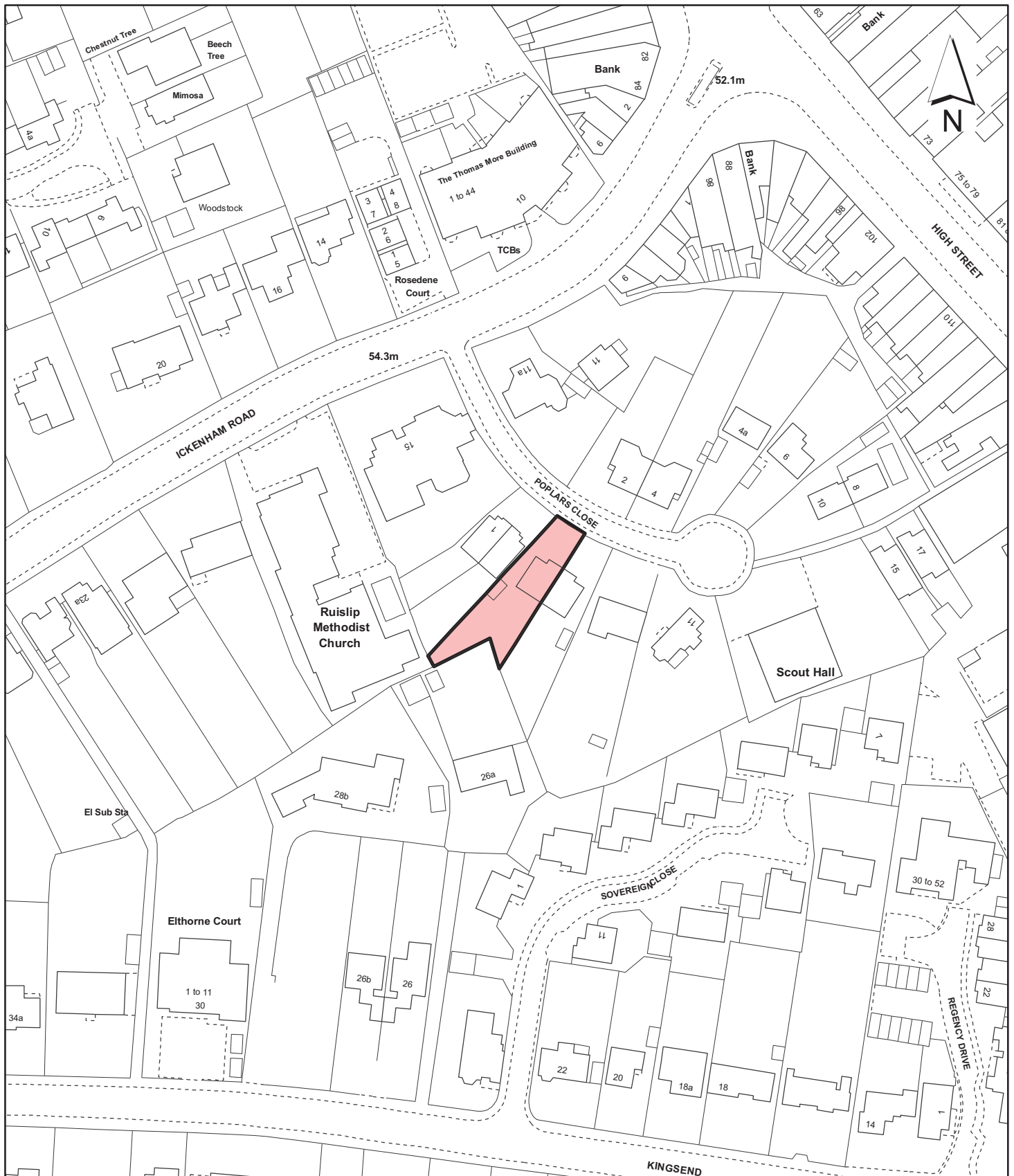
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

**Policy No.**

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

**Contact Officer:** Jonathan Doe

**Telephone No:** 01895 250230



**Notes**

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Site Address

**5 Poplar Close  
Ruislip**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**35910/APP/2011/718**

Scale  
**1:1,250**

Planning Committee  
**North** Page 139

Date  
**November  
2011**



**HILLINGDON**  
LONDON

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## Report of the Head of Planning & Enforcement Services

**Address** 168 WHITBY ROAD RUISLIP

**Development:** Single storey side extension to existing property

**LBH Ref Nos:** 38420/APP/2011/2410

**Drawing Nos:** Location Plan to Scale 1:1250  
2011/77/01

**Date Plans Received:** 05/10/2011      **Date(s) of Amendment(s):**

**Date Application Valid:** 05/10/2011

### 1. CONSIDERATIONS

#### 1.1 Site and Locality

The application property is an end of terrace, two storey dwelling situated on the south-eastern side of Whitby Road. It is sited adjacent to a vehicular access that leads to the rear garages of the properties in the road, and an area of open space beyond.

The property has been extended from its original state in the form of a conservatory and single storey rear and part side extension.

The streetscene is residential in character and appearance comprising two storey terraced houses and the application site lies within the Developed Area as identified in the saved UDP, September 2007.

#### 1.2 Proposed Scheme

The application is for a single storey side extension to the property. The extension would be sited to the front of the existing single storey part side and rear extension, effectively continuing that original extension to the front and set slightly behind the front elevation of the main house.

Due to the splayed nature of the plot the extension would be angled to reflect that of the side boundary. It would have a 2.7m high flat roof with rendered elevations to match the existing house.

#### 1.3 Relevant Planning History Comment on Planning History

There is no planning history of relevance to this application.

### 2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

### 3. **Comments on Public Consultations**

6 adjoining and nearby properties notified of the application by means of a letter dated 11th October 2011. No responses have been received.

The Eastcote Residents Association have been consulted on the application although no comments have been received.

This application is reported to committee as the applicant is an employee of the Council.

### 4. **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 5.3	(2011) Sustainable design and construction

### 5. **MAIN PLANNING ISSUES**

The main planning issues are the impact of the development on the character of the house and the area in general, and also the impact on the amenities of the adjoining occupiers. The impact on parking provision and amenity space also needs to be considered.

With regard to the impact of the development on the streetscene and the character of the house the proposal meets with the requirements of the Council's HDAS document. It is of a scale, form and width that is appropriate to the house and the area, and it would not detract from the character of the house or adversely affect the visual amenities of the area.

HDAS suggests that flat roofs on extensions are acceptable up to 3m in height (with parapet up to 3.1m) or that pitched roofs are acceptable up to 3.4m in height. The proposal accords with this guidance.

The proposal would result in the loss of some shrubs that exist along the side access road. However, such a loss would not be detrimental to the character of the area. The extension would effectively be a continuation of the existing extension and brick wall and fence that exists along parts of this boundary and would therefore not look unduly out of place.

Therefore, in streetscene and character terms it is considered that the proposal would not unduly detract from the visual amenities of the surrounding area. It would be in compliance with policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and section 3.0 of the Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions.

Given the relationship with the neighbouring properties and the side access, there would be no adverse impact on the amenities of the adjoining occupiers. There would be no significant adverse impact in terms of loss of light or privacy, or overlooking or any overbearing impact or visual intrusion that would justify a refusal of planning permission.

As such, the proposal would not represent an unneighbourly form of development and in this respect would be in compliance with policies BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and section 3.0 of the Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions as well as the London Plan (2011).

The proposal would not adversely affect the amount of private amenity space for the property, and would effectively utilise an otherwise redundant area of space. The remaining space is considered adequate for the enlarged property and would be in compliance with paragraph 3.13 of the HDAS: Residential Extensions and policy BE23 of the saved UDP September 2007.

There would be no impact on parking or vehicular access arrangements which are at the rear of the property. The proposal would not therefore conflict with policy AM14 of the saved UDP, September 2007.

## 6. **RECOMMENDATION**

### **APPROVAL subject to the following:**

1            HH-T8            Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2            HH-OM1            Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the

Local Planning Authority.

#### REASON

To ensure that the external appearance of the development is satisfactory and complies with Policies BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### 3 HH-M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

#### REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

### INFORMATIVES

#### Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
  
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:  
**Policy No.**

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.



AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 5.3	(2011) Sustainable design and construction

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control,  
3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

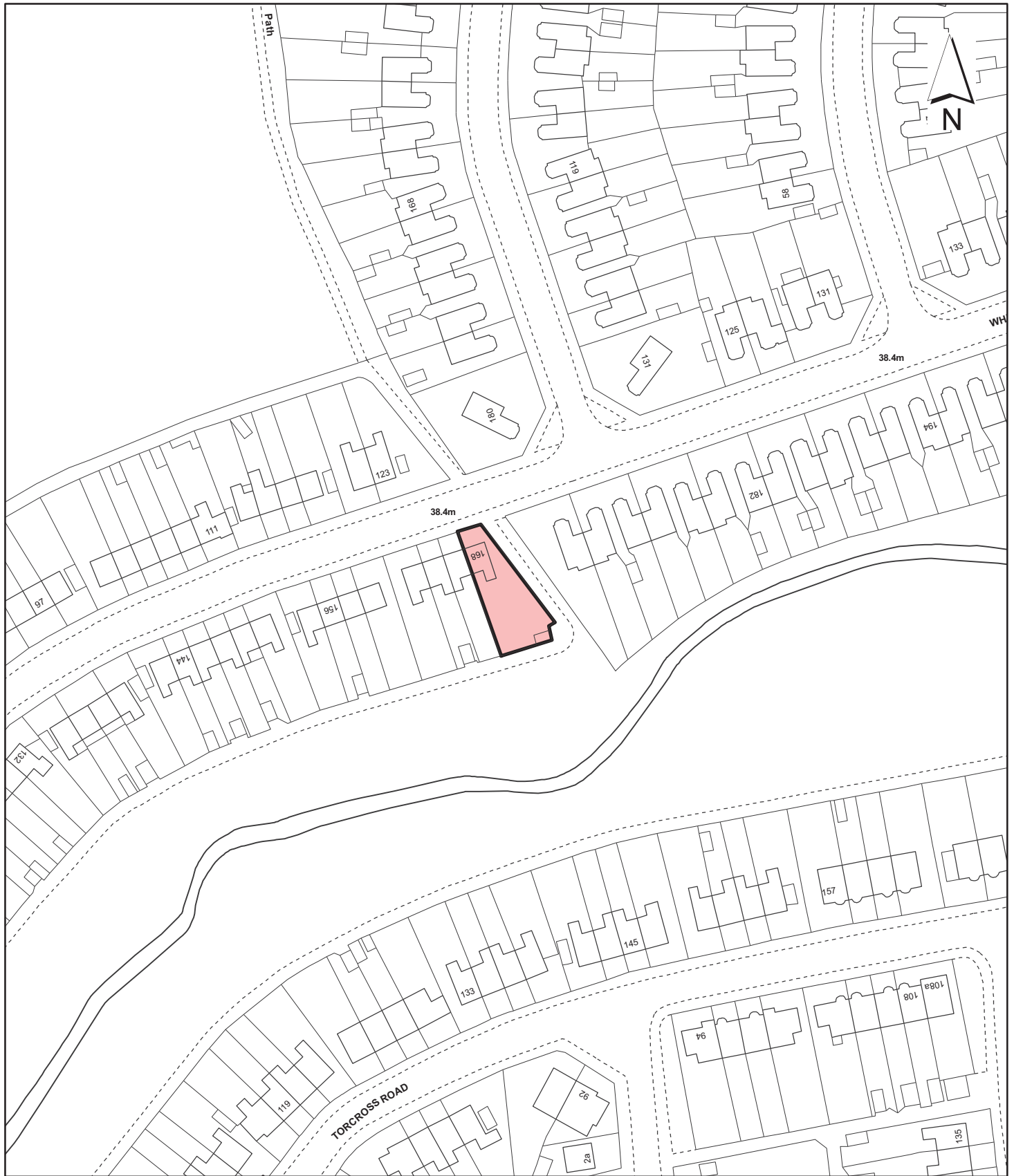
You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.

- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

**Contact Officer:** Warren Pierson

**Telephone No:** 01895 250230



**Notes**



Site boundary

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Site Address

**168 Whitby Road  
Ruislip**

Planning Application Ref:

**38420/APP/2011/2410**

Planning Committee

**North** Page 148

Scale

**1:1,250**

Date

**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning & Enforcement Services

**Address** 43 THE CHASE ICKENHAM

**Development:** Single storey rear extension with habitable roofspace to include a gable end window and 1 side roof light, involving demolition of existing lean-to extension to rear.

**LBH Ref Nos:** 67155/APP/2011/1564

**Drawing Nos:** B3139-SK1  
B3139-21  
B3139-22

**Date Plans Received:** 27/06/2011

**Date(s) of Amendment(s):**

**Date Application Valid:** 28/06/2011

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application property is a detached chalet brick built bungalow with two large dormer extensions on both sides of the roof slope which have been constructed under permitted development.

The application site is situated in a residential area comprising detached and semi detached bungalows. The properties on this street have varying styles, many have been altered through planning permission or under permitted development rights.

The application site is separated from No.41 by a 2.6m wide side access and from No.45 there is a 2.8m side access. The front building line on this stretch of The Chase is stepped with No. 45 being positioned further forward of the application property whilst No.41 is set slightly behind. The rear building lines are also staggered.

To the rear of the site, the garden stretches back over 30m and is bounded by the rear gardens of Halford Road. The adjacent properties either side, No. 41 and No. 45 have been extended in various forms. No 45. has a large rear dormer stretching the width of the roof. Planning permission has also been granted on this site for a single storey side and rear extension with habitable roofspace (2009/337). This has yet to be constructed. No 41 has previously extended a large rear extension (79/1294).

### 1.2 Proposed Scheme

The application seeks planning permission for the erection of a rear extension with habitable roof space.

The extension would extend 3.6m from the rear elevation of the property. It would result in the continuation of the roofslope of the existing property above the extension, and would have a gable end on the rear elevation. The eaves height would be 2.4m and the ridge height would be 5.65m (the same as that existing).

A rooflight would be provided in the southern elevation of the extended roof, and a first floor window would be created in the rear gable, along with windows and sliding doors on the ground floor rear elevation.

Elevations would be rendered to match the existing building and the roof tiled to match the existing roof.

### 1.3 Relevant Planning History

67155/APP/2010/1664 43 The Chase Ickenham

Conversion of roofspace to habitable use to include side dormers, gable end windows to front and rear and alterations to elevations (Application for a Certificate of Lawful Development for a Proposed Development)

**Decision Date:** 10-09-2010 Approved **Appeal:**

67155/APP/2010/2303 43 The Chase Ickenham

Single storey rear extension with part habitable roofspace, single storey front extension and conversion of roofspace for habitable use with 2 side dormers and Juliette style balcony to rear, involving demolition of existing single storey rear extension.

**Decision Date:** 03-12-2010 Refused **Appeal:**

67155/APP/2010/2911 43 The Chase Ickenham

Single storey rear extension with part habitable roofspace, single storey front extension and extension of roofspace for habitable use with 2 side dormers, involving demolition of existing single storey rear extension.

**Decision Date:** 09-03-2011 Refused **Appeal:**

67155/APP/2011/914 43 The Chase Ickenham

Single storey rear extension with habitable roof space to include 2 side dormers and gable end window involving demolition of existing rear extension.

**Decision Date:** 15-06-2011 Refused **Appeal:**

#### Comment on Planning History

The property has planning history that is relevant to the application, including several applications that have been refused because of their impact on the character and form of the property and the impact on the streetscene. A number of works have recently been undertaken to the property, including two side dormer windows that have been constructed under permitted development rights.

The last planning application (Ref: 67155/APP/2011/914) involved a rear extension extending 5m from the rear elevation, rather than the 3.6m now proposed but also with the addition of dormer windows in each of the sides of the new roofslope. That application was refused for the following reasons:

1. The proposed single storey and two storey rear extensions, by reason of their size, scale, bulk, and design would result in disproportionate, incongruous and unsympathetic

additions, failing to appear subordinate to the scale, form and appearance of the original house and detrimental to the character and appearance of the original house and the visual amenities of the street scene and immediate surrounding area. The development is therefore contrary to policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

2. The proposed dormer windows, in conjunction with the dormer windows constructed as permitted development, by reason of their size, scale, bulk and design would result in disproportionate, incongruous and unsympathetic additions. They would not appear subordinate to the scale, form and appearance of the original house and would be detrimental to the character and appearance of the original house and the visual amenities of the street scene and the surrounding area generally. The development is therefore contrary to policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

3. The proposed rear extension would be excessive in depth due to the staggered rear building lines of these properties and as such would cause an overbearing impact on neighbouring properties in particular the rear amenity space of No. 45 The Chase. The development is therefore contrary to Policy BE21 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

## **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- Not applicable

**2.2** Site Notice Expiry Date:- Not applicable

## **3. Comments on Public Consultations**

10 adjoining and nearby properties have been notified of the application by means of a letter dated 1st July 2011 and 2 responses have been received objecting to the development as follows:

1. A significant further extension to the already overbearing and over developed roof shape. The recent additions of two large dormer windows on both sides of the roof give an excessive bulk to the roof and further extension of the roof with gable end would make the overall size and scale significantly greater than the original bungalow.

2. Any extension to the rear would only be appropriate at ground floor level with flat roof subordinate to the rest of the building.

3. The garden and rear rooms of adjoining properties would receive significant additional shade in the afternoon especially in winter months as the sun drops below the proposed full height roof extension, affecting the light coming into the rear of the properties which are north facing.

4. Concern at the additional drainage requirements for the proposed roof and how this additional run off can be catered for without causing localised flooding.

5. The proposed extension is significantly larger compared to the original lean to structure, demolished when the roof dormer construction started. The existing floor plan drawing shows three bedrooms in the roof dormers. The proposed bedrooms are not permitted to have escape sized side window openers overlooking the adjacent property.

6. We object to more side facing windows being added to this property and to the dormer windows having escape sized side window openers, as this will infringe on our privacy and is contrary to lawful development rights as advised in the certificate of lawfulness, informative section. It also presumes a means of egress across our property where no such right of access exists. An attempt was made to ignore the lawful development limitations by installing dormer windows with escape sized side openers. This had to be corrected by planning enforcement officers after installation, who ensured that these side openers are now permanently closed, this leaves only top openers with no means of escape.

7. A recently installed side window towards the rear at ground floor level is extremely intrusive, overlooking our property and our neighbour at No. 47 The Chase.

8. The orientation of the building is incorrectly identified on the proposed plan drawing which shows the sides of the property as North and South elevations. This cannot be the case as the front of the property faces south. Therefore the side elevations are East and West.

9. There have been attempts to redefine the boundary between properties.

10. Concern at the potentially transient nature of a multiple occupancy dwelling at the property which the large number of bedrooms and bathrooms might suggest.

11. The extension that has already been completed at the subject property has cast a shadow across the rear of the adjoining property, in addition to completely spoiling the view from the rear garden.

12. That such an entirely unsuitable addition could be permitted in such an environment is extremely surprising and reflects a total lack of respect or care towards the interests of the surrounding neighbours, who have all now had the right of enjoyment of their properties severely compromised, in particularly the especially unfortunate situation of both of the immediately adjacent properties. Further, one has to question how many more applications are intended to be made by this developer, who obviously has no measure of respect whatever for the interests of the residents of this end of The Chase. Also, this situation has set a very serious precedent which raises considerable concern for the residents as to what else Hillingdon Council will be willing to approve in the future.

13. Residents no doubt chose to locate in the area for its quiet and pleasant environment, and therefore have no wish to see the approval of entirely unsuitable building projects that will result in the street resembling more of a city centre location.

14. If this situation continues, the council may as well abandon the application process and permit any form of development as the current process is clearly defective. It is further understood that the developer involved in this application has never displayed any site notices.

15. Reference is made to an 8m high ash tree in the far corner of the rear garden, which



does not appear to exist on the ground.

OFFICER COMMENT: Material planning issues are addressed in the main report. Despite the elevational inaccuracy the submitted drawings provide sufficient information to determine the true orientation of the property. Boundary issues related to existing rather than proposed extensions are a civil matter that would have to be addressed between relevant parties. There is no requirement for the applicant to display a site notice in this instance, as the Council has met its statutory requirements by writing to all adjoining residents and advising them of the application. Legislation only requires one or the other in this case, not both.

Ickenham Residents Association: The property has a long history of extensions and conversions since 2010 and the Association refers to our letters of objection or observation since last year. It is not possible for us to clearly assess whether this new proposed rear extension is in addition to existing extensions and possibly exceeding the allowance for the increase of the original footprint, and we have to leave it to your Planning Team to arrive at the correct decision. No doubt, the residents in The Chase must be very concerned whatever else could be converted/extended on this property continuously changing the appearance of the road scene.

Ward Councillor: Requests that this application be considered by the Planning Committee.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
CACPS	Council's Adopted Car Parking Standards (Annex 1, HUDP, Saved Policies, September 2007)
LPP 5.3	(2011) Sustainable design and construction

## 5. MAIN PLANNING ISSUES

The main issues for consideration include design and visual appearance of the rear extension and its effect on the existing property, the character and appearance of the wider street scene, the impact upon the amenities of neighbouring properties and car parking provision. In considering the application, reference needs to be made to the planning history of the property, and take into account the works that have recently been undertaken through permitted development rights.

With respect to the design and form of the extension and its impact on the character and form of the property as it now stands the continuation of the rear elevation would not look unduly out of place. The removal of the side dormer windows previously proposed in application 2011/914 are a significant improvement in this respect. The extension would not therefore be particularly noticeable or prominent in the streetscene and would not adversely affect the character of the now extended building.

The extension would extend 3.6m from the rear elevation of the house in accordance with HDAS which allows two storey extensions up to 4 metres depth to the rear of detached properties. However, this guidance makes it clear that such extensions should always appear sub-ordinate to the original house and only be allowed where there is no significant over-dominance or loss of outlook.

It is considered that the extension would have an adverse impact on the amenities of the adjoining occupiers by reason of an overbearing impact and from visual intrusion.

In relation to the outlook on amenities of adjoining properties, for the occupiers of No.41 The Chase, there would be no change in outlook from the rear of the property as the proposal does not extend beyond that rear elevation due to the staggered nature of the building lines. However, the flank wall of the proposed extension would be in close proximity to the windows and main entrance to the property that are in the side of No.41 adjacent the application site. There is the main front door and hallway to the side, and 3 windows serving a kitchen (clear glazed), high level lounge window serving their rear extension (clear glazed) and a bathroom window (obscure glazed).

Despite the 2.74m (width) sideway separation between the two properties, the outlook from the kitchen window would face the entire side elevation to the proposed rear extension.

Advice in HDAS Section 6.22 for large two storey extensions states that they may not be acceptable if they have a significant over-shadowing and overbearing effect on the habitable rooms of adjoining properties and in this respect any two-storey extension extending beyond a 45 degree horizontal line measured from the middle of a principal window to a habitable room on the adjoining property may not be acceptable. As this kitchen window is east facing and based on the HDAS Section 6.21 relating to a 25 degree vertical angle taken from a point 2m (h) above floor level the two storey rear extension would also lead to significant overshadowing.

Ordinarily, the main window to a habitable room would be facing either the front or the rear of the property. In this case however the original rear window to No. 41 The Chase has been subsumed by the single storey rear extension so disregarding the high level lounge windows the kitchen window is the only clear glazed side window. The kitchen of this property is not a habitable room as the floor area is less than the 13m<sup>2</sup> threshold contained in the Glossary to the adopted UDP (Saved Policies September 2007) and therefore the loss of light to this room is of limited consideration. However, it is considered

that the extension would be visually intrusive and overbearing when viewed from this window, particularly given the height and form of the roof. The proposed extension would also limit the amount of light reaching the front door and hallway which is accessed to the side of No.41.

Para. 5.23 of Policy BE20 requires adequate sunlight and daylight to reach both habitable rooms including kitchens and external private amenity space. With the proposed development early-morning overshadowing would be prolonged to mid morning but then recede by late morning, covering their kitchen window and some of the private patio area. It is considered that the occupiers of No.41 would experience an unacceptable reduction in the available daylight. The development would therefore fail to meet the requirements of Policies BE20 and BE21 of the adopted UDP (Saved Policies September 2007) and guidance within Section 3 and 6 of the SPD HDAS Residential Extensions.

It is also considered that the extension would be dominating from the private amenity space of No. 45 The Chase. As the building lines are staggered, the existing rear wall of No.43 The Chase already projects 3m behind the rear building line of No 45 The Chase. The additional 3.6m deep extension at a height of 5.5m to the ridge line would dominate the outlook of the occupiers and create an overbearing feature. The proposal would also give a perception of excessive depth from the garden adding to the overbearing effect to the detriment of the occupiers amenity. It is therefore considered contrary to Policies BE21, BE24 of the adopted UDP (Saved Policies September 2007) and Section 6 of the adopted SPD HDAS: Residential Extensions.

In terms of the garden area for a four bedroom property, there should be at least 100m<sup>2</sup> of rear garden retained to provide adequate amenity space. Even with the extension there is still considerable amount of garden area amounting to of over 350m<sup>2</sup>. This meets the criteria of BE23 of the adopted UDP and Section 7 of the adopted SPD HDAS: Residential Extensions.

Car parking space for 2 vehicles could be provided within the front garden on a porous surface leaving a minimum of 25% landscaped area within the front garden. Subject to an appropriate condition requiring details to be submitted the proposal would comply with Policy AM14 of the adopted UDP (Saved Policies September 2007).

There are no landscaping issues to compromise Policy BE38 of the adopted UDP (Saved Policies September 2007).

## **6. RECOMMENDATION**

### **REFUSAL for the following reasons:**

#### **1 R12 Extension Over Dominant Refusal**

The proposed development by reason of its overall size, height, bulk, siting and orientation in relation to the adjoining properties would constitute an unneighbourly and over-dominant form of development resulting in an unacceptable loss of amenity and visual intrusion. The development would therefore be contrary to Policies BE15, BE19, BE20 and BE21 of the adopted UDP (Saved Policies September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

## INFORMATIVES

### Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
  
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:  
**Policy No.**  

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
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LPP 5.3	(2011) Sustainable design and construction

**Contact Officer:** Warren Pierson

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**Notes**

 Site boundary

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Site Address

**43 The Chase,  
Ickenham**

Planning Application Ref:

**67155/APP/2011/1564**

Planning Committee

**North** Page 157

Scale

**1:1,250**

Date

**September  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

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# Plans for North Planning Committee

6th December 2011



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## **Report of the Head of Planning & Enforcement Services**

**Address** 103, 105 AND 107 DUCKS HILL ROAD NORTHWOOD

**Development:** Erection of a pair of linked part 2 part, 3 storey blocks with accommodation in the roof space, to provide, 12 two-bedroom and 1 three-bedroom apartments, involving demolition of 103, 105 and 107 Ducks Hill Road (Outline application)

**LBH Ref Nos:** 64345/APP/2011/1945

**Date Plans Received:** 08/08/2011                      **Date(s) of Amendment(s):**

**Date Application Valid:** 25/10/2011



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Rev.	Description	Date



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
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**Title:** Site Location Plan

**Status:** PLANNING

**Scale:** 1 : 1250 **Date:** April 2011

**Revision:** **Sheet:** A3

**Drng No:** FSW 10 - 725 - 050



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A	Revised following planners pre planning comments	02.08.11



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
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**Title:** Proposed Block Plan

**Status:** PLANNING

**Scale:** 1 : 500      **Date:** April 2011

**Revision:** A      **Sheet:** A3

**Drg No:** FSW 10 - 725 - 054



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A	Revised following planners pre planning comments	02.08.11

--- Previous Application

--- Consented Scheme

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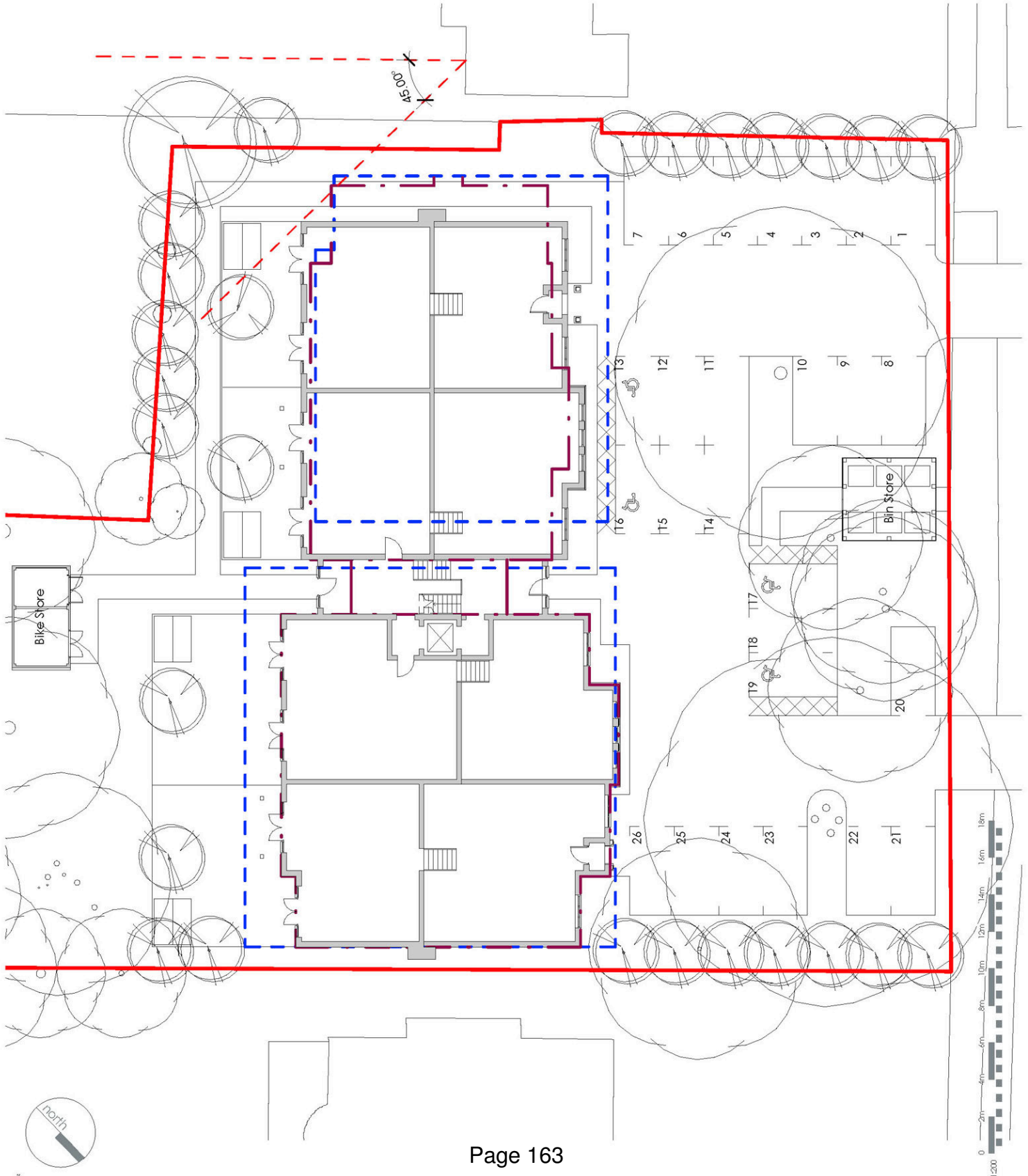
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**Status:** PLANNING

**Scale:** 1:200 **Date:** April 2011

**Revision:** A **Sheet:** A3

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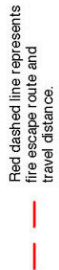
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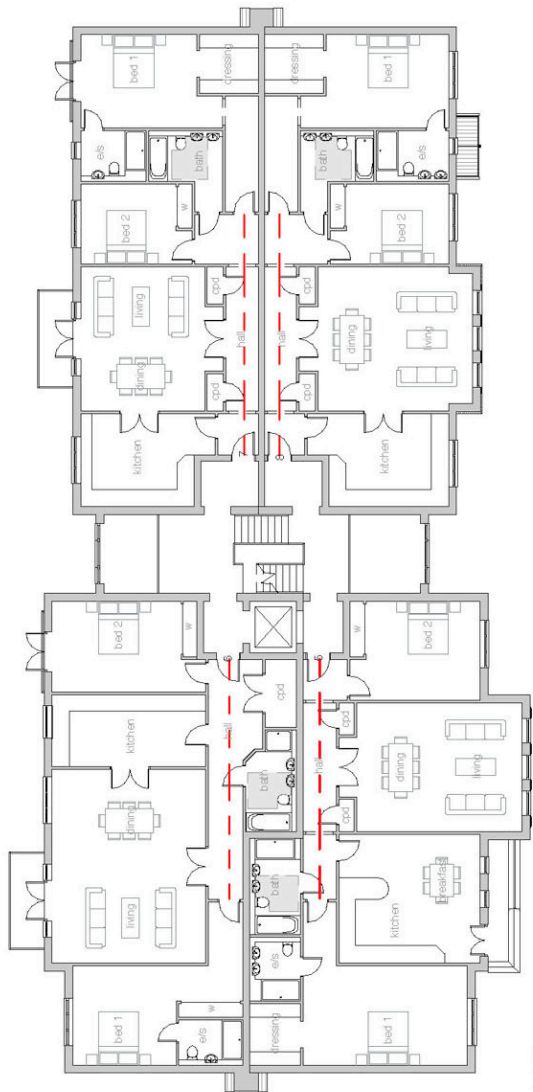
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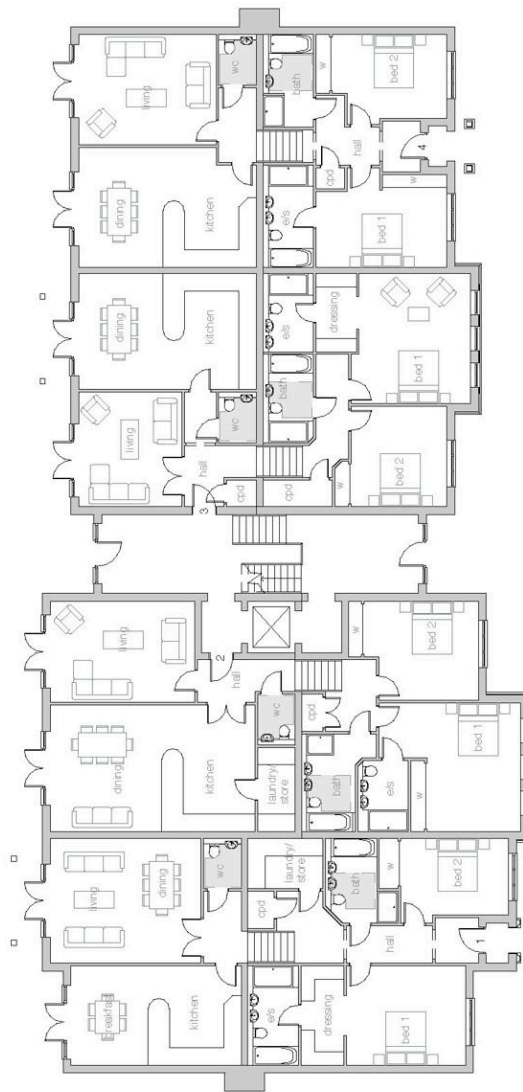
Grey area represents approach zone required by their Lifetime Homes design criteria as of 05/07/10



Red dashed line represents fire escape route and travel distance.



First Floor



Ground Floor



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**Project:** 103-107 Ducks Hill Road,  
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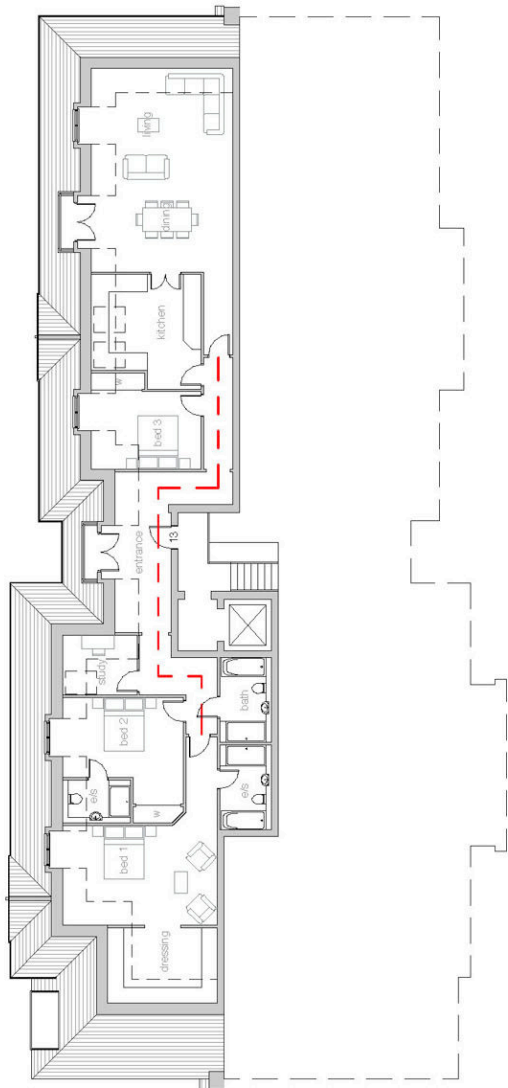
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**Status:** PLANNING

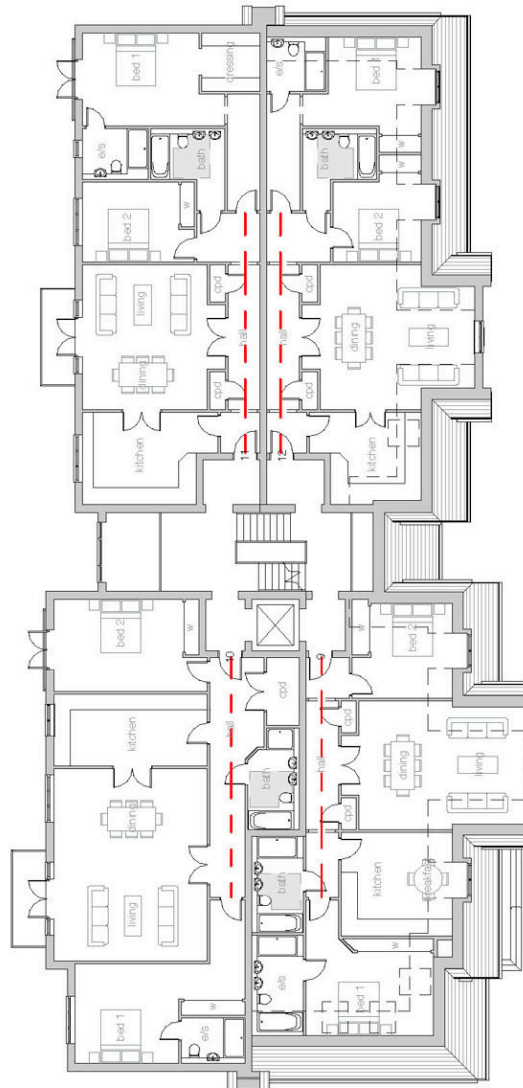
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Third Floor



Second Floor



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A	Revised following planners pre planning comments	02.08.11

Grey area represents approach zone required by their Lifetime Homes design criteria as of 05/07/10



Red dashed line represents fire escape route and travel distance.



**fluid**

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** GA Second & Third Floors

**Status:** PLANNING

**Scale:** 1:200 **Date:** April 2011

**Revision:** A **Sheet:** A3

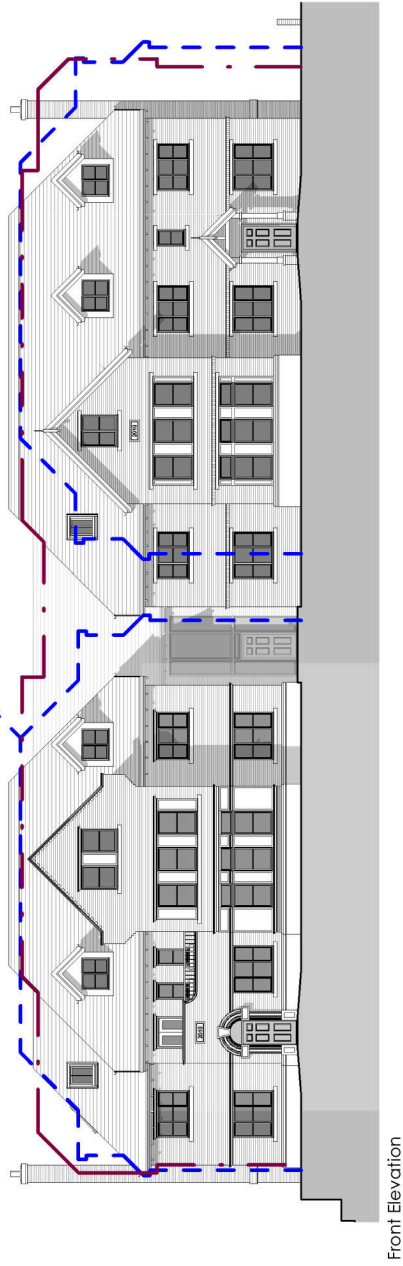
**Drwg No:** FSW 10 - 725 - 111

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Previously consented scheme  
 ref: 64345/APP/2008/3572



Front Elevation



Rear Elevation



Rev	Description	Date

— · — Previous Application

- - - Consented Scheme

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
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 HA6 2SQ

**Title:** Site Front & Rear  
 Elevations

**Status:** PLANNING

**Scale:** 1 : 200      **Date:** April 2011

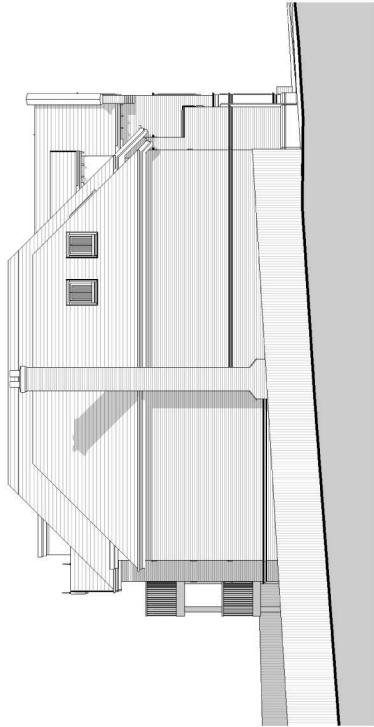
**Revision:**      **Sheet:** A3

**Drng No:** FSW 10 - 725 - 125

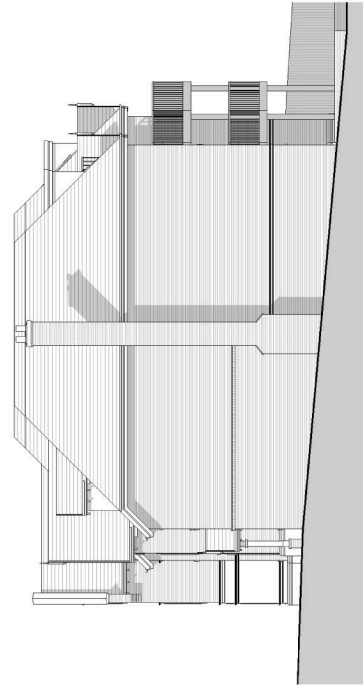
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Planning

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Left Flank Elevation



Right Flank Elevation

Rev	Description	Date

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Site Flank Elevations

**Status:** PLANNING

**Scale:** 1 : 200      **Date:** April 2011

**Revision:**      **Sheet:** A3

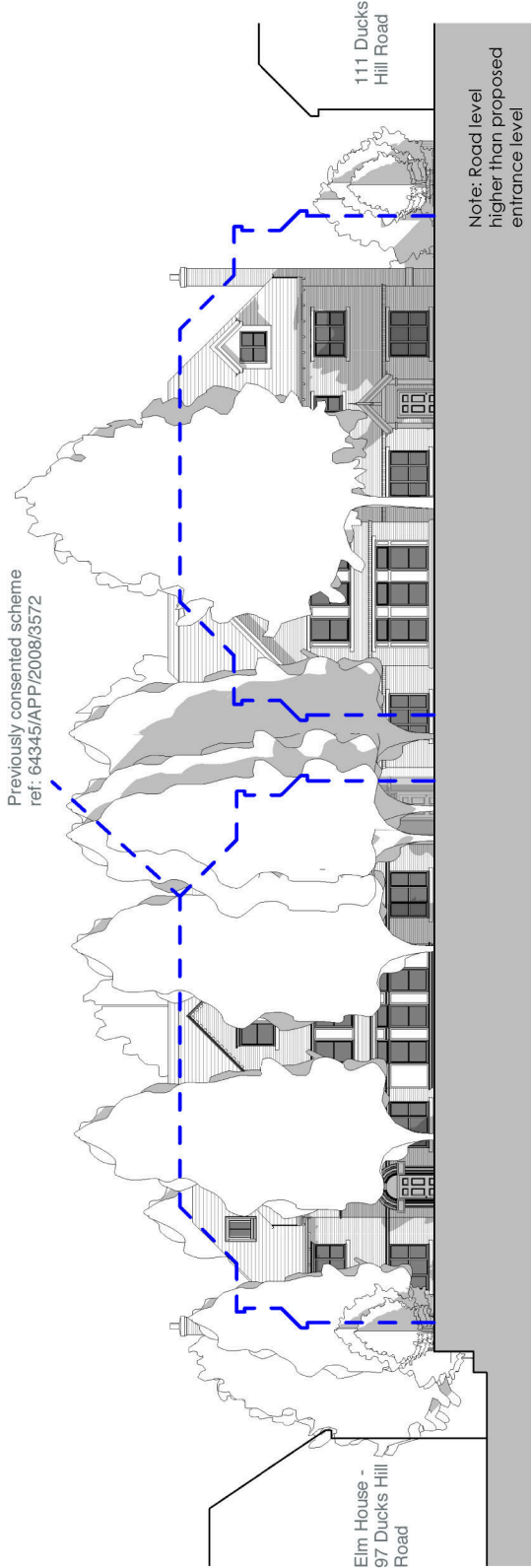
**Drwg No:** FSW 10 - 725 - 126



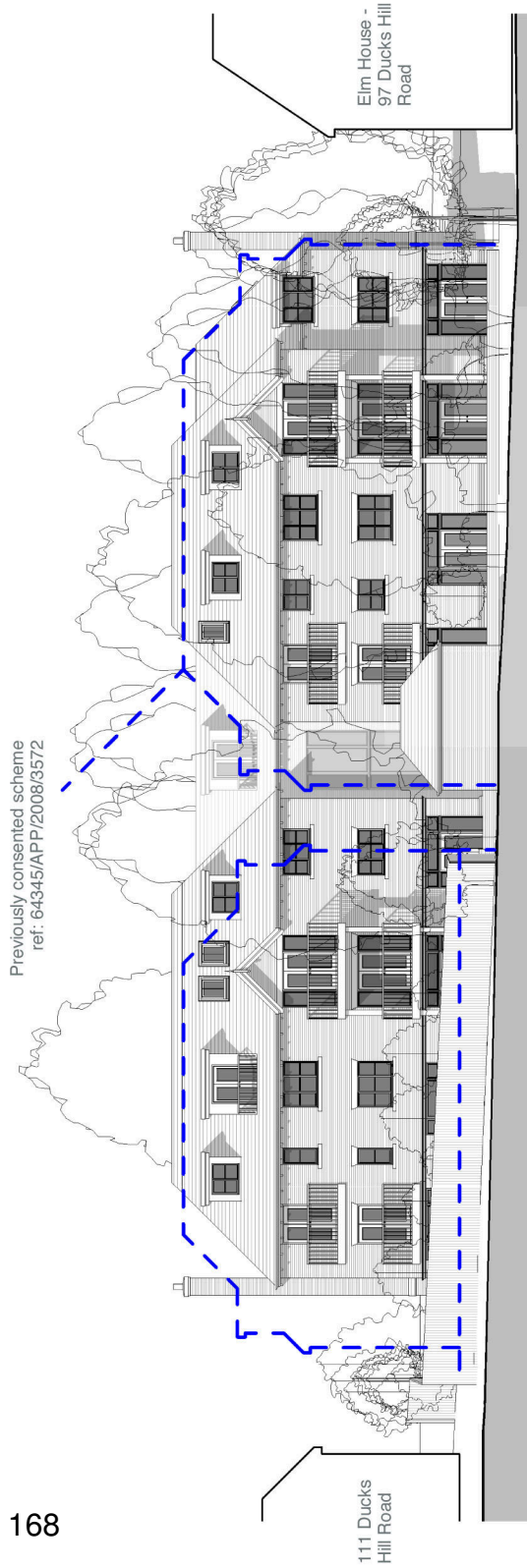
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Rev	Description	Date



Front Context Elevation



Rear Context Elevation



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
 Northwood,  
 HA6 2SQ

**Title:** Proposed Context  
 Elevations

**Status:** PLANNING

**Scale:** 1 : 200      **Date:** April 2011

**Revision:**      **Sheet:** A3

**Dwg No:** FSW 10 - 725 - 127

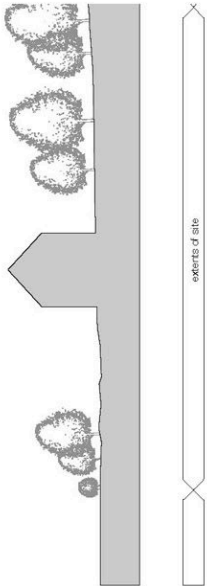


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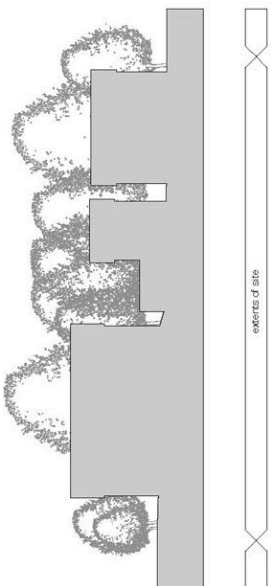
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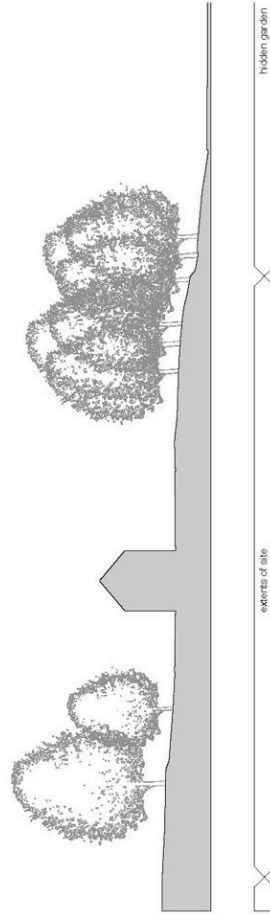
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Section A-A



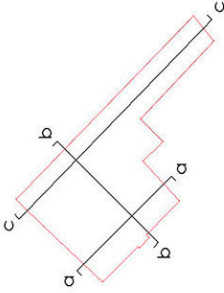
Section B-B



Section C-C



Rev	Description	Date
A	Revised following planners pre planning comments	02.08.11



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Existing Site Sections

**Status:** PLANNING

**Scale:** As indicated **Date:** April 2011

**Revision:** A **Sheet:** A3

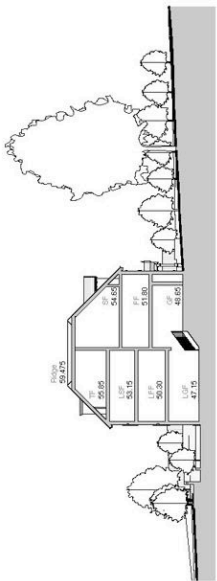
**Drng No:** FSW 10 - 725 - 052

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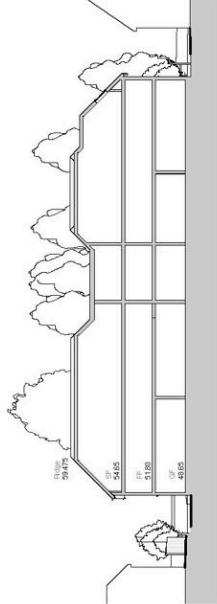
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Rev	Description	Date



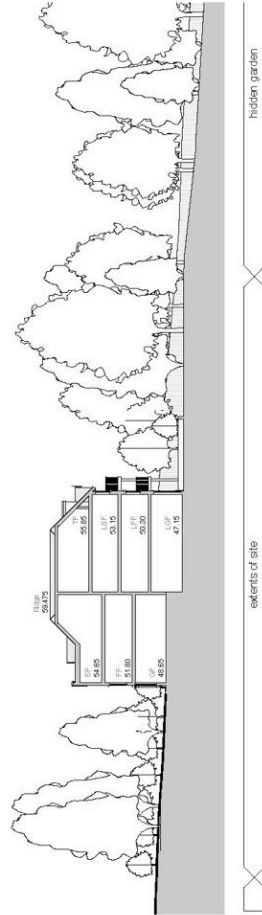
extents of site

Section A-A



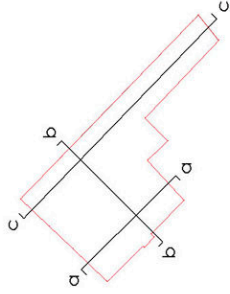
extents of site

Section B-B



extents of site

Section C-C



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Proposed Site Sections

**Status:** PLANNING

**Scale:** As indicated **Date:** April 2011

**Revision:** **Sheet:** A3

**Drng No:** FSW 10 - 725 - 130

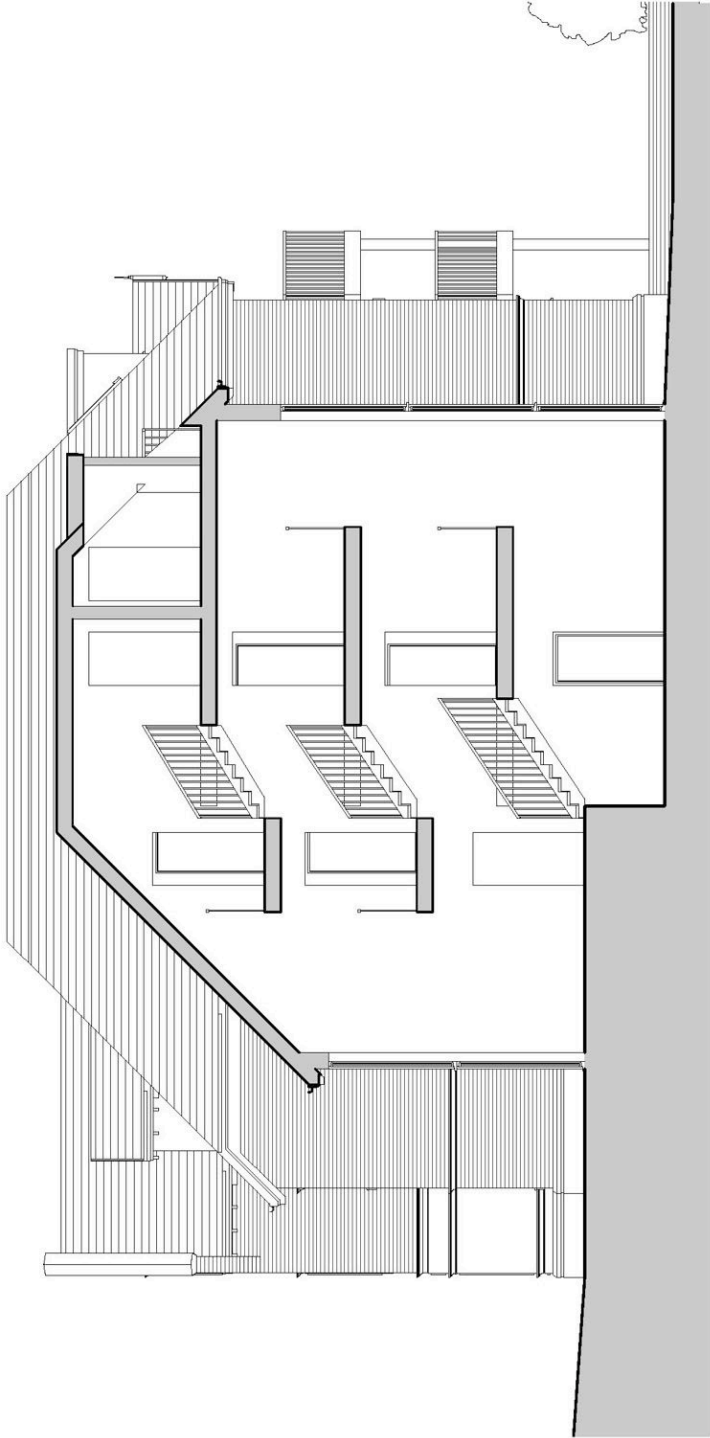
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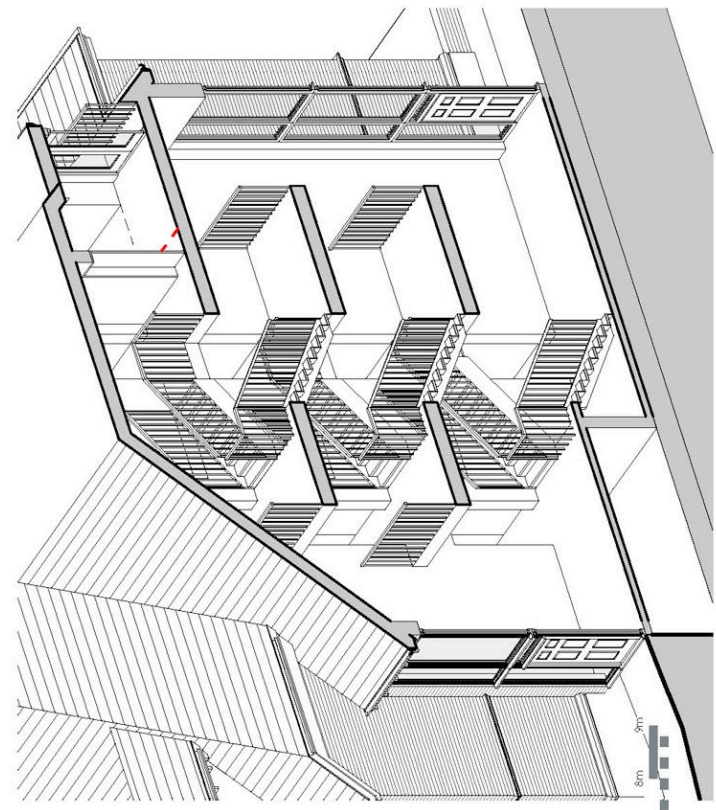
**Planning**

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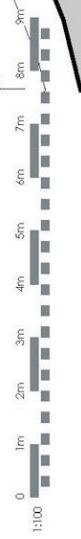
Rev.	Description	Date



Lobby Section Looking Left



3D Lobby Section



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**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Lobby Section

**Status:** PLANNING

**Scale:** 1:100      **Date:** April 2011

**Revision:**      **Sheet:** A3

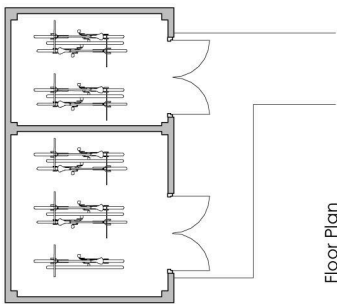
**Dwg No:** FSW 10 - 725 - 132

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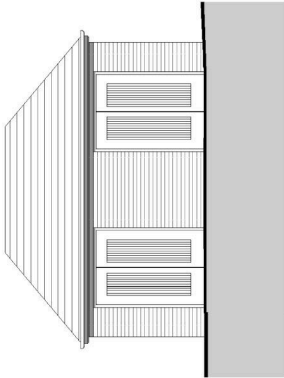
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**Planning**

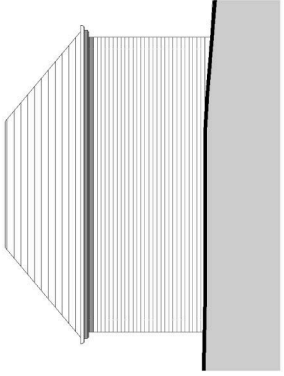
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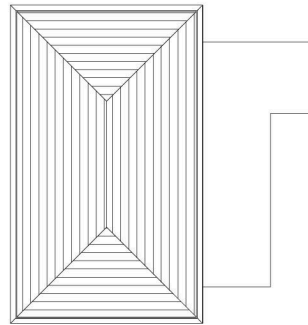
Floor Plan



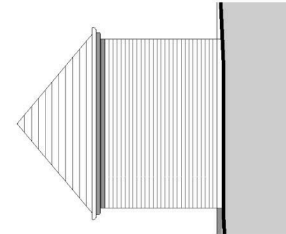
Front Elevation



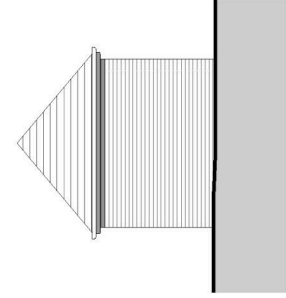
Rear Elevation



Roof Plan



Left Flank Elevation



Right Flank Elevation

Rev	Description	Date
A	Revised following planners pre planning comments	02.08.11

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Bike Store Plans &  
Elevations

**Status:** PLANNING

**Scale:** 1 : 100      **Date:** April 2011

**Revision:** A      **Sheet:** A3

**Drwg No:** FSW 10 - 725 - 115



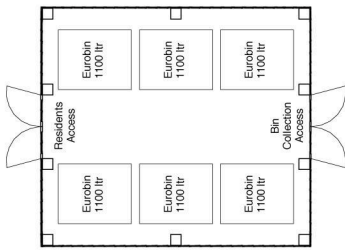
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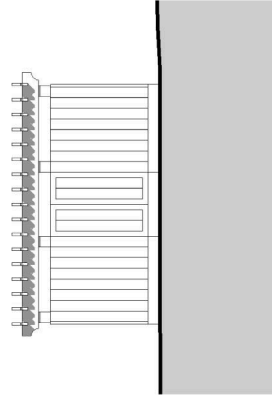
**Planning**

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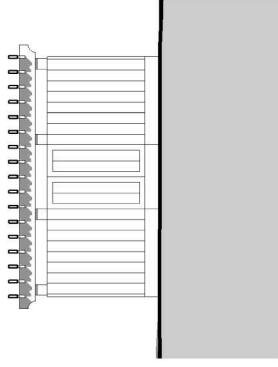
Rev	Description	Date



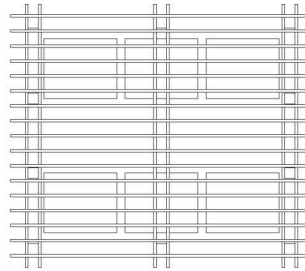
Floor Plan



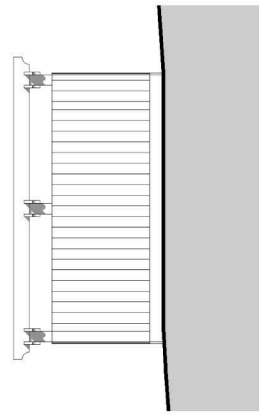
Front Elevation



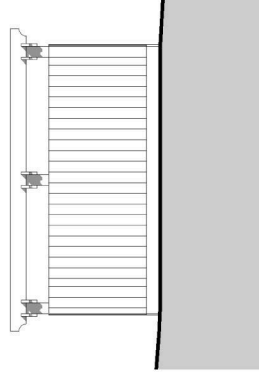
Rear Elevation



Roof Plan



Left Flank Elevation



Right Flank Elevation

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 www.fluid-design.co.uk

**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
 Northwood,  
 HA6 2SQ

**Title:** Bin Store Plans &  
 Elevations

**Status:** PLANNING

**Scale:** 1 : 100      **Date:** April 2011

**Revision:**      **Sheet:** A3

**Drwg No:** FSW 10 - 725 - 116





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**Planning**

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Rev	Description	Date
A	Revised following planners pre planning comments	02.08.11

-  1500mm Brick Wall
-  1800mm Close Board Fence
-  Planted Boundary Screen
-  1100mm Close Board Fence



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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
HA6 2SQ

**Title:** Means of Enclosure

**Status:** PLANNING

**Scale:** 1 : 500      **Date:** April 2011

**Revision:** A      **Sheet:** A3

**Drwg No:** FSW 10 - 725 - 057

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Rev	Description	Date

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
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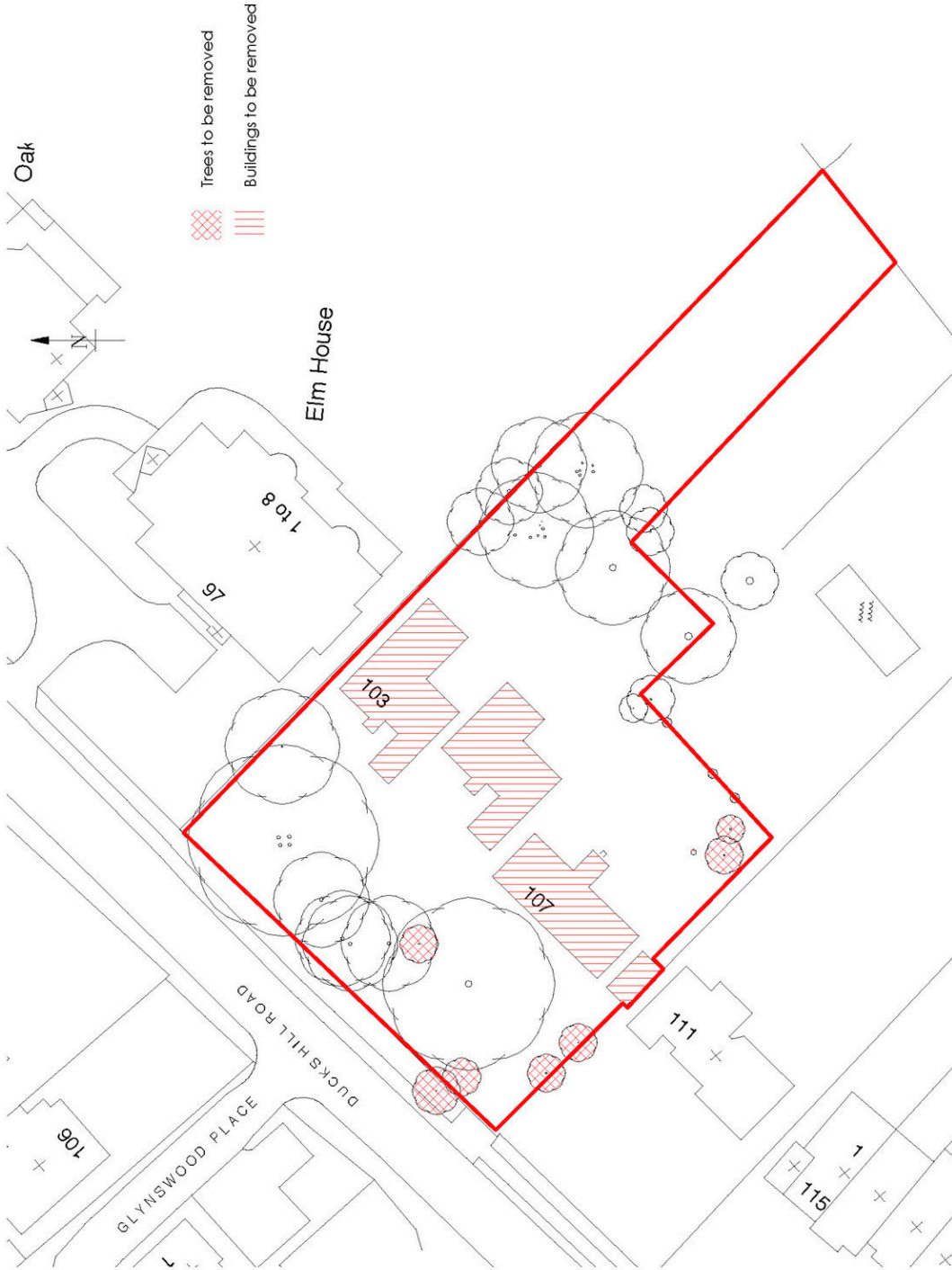
**Title:** Building and Tree  
 Removal Plan

**Status:** PLANNING

**Scale:** 1 : 500      **Date:** April 2011

**Revision:**      **Sheet:** A3

**Drng No:** FSW 10 - 725 - 053





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Rev	Description	Date
A	Revised following planners pre planning comments	02.08.11

- Connection to existing foul water
- Brick on edge
- Block paving
- Asphalt
- Areas laid to lawn
- Areas of new planting

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**Project:** 103-107 Ducks Hill Road,  
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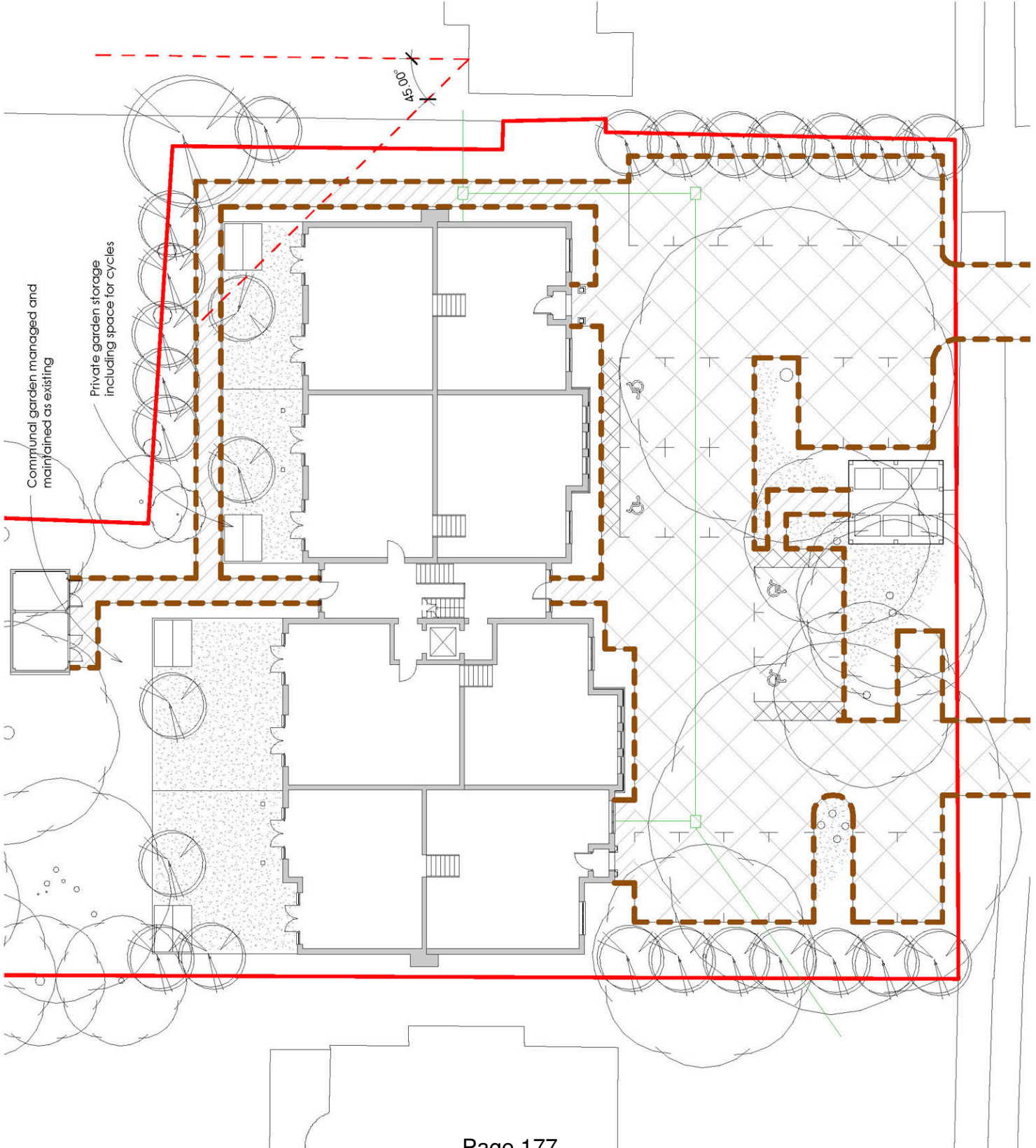
**Title:** External Works Plan

**Status:** PLANNING

**Scale:** As indicated **Date:** April 2011

**Revision:** A **Sheet:** A3

**Dwg No:** FSW 10 - 725 - 58

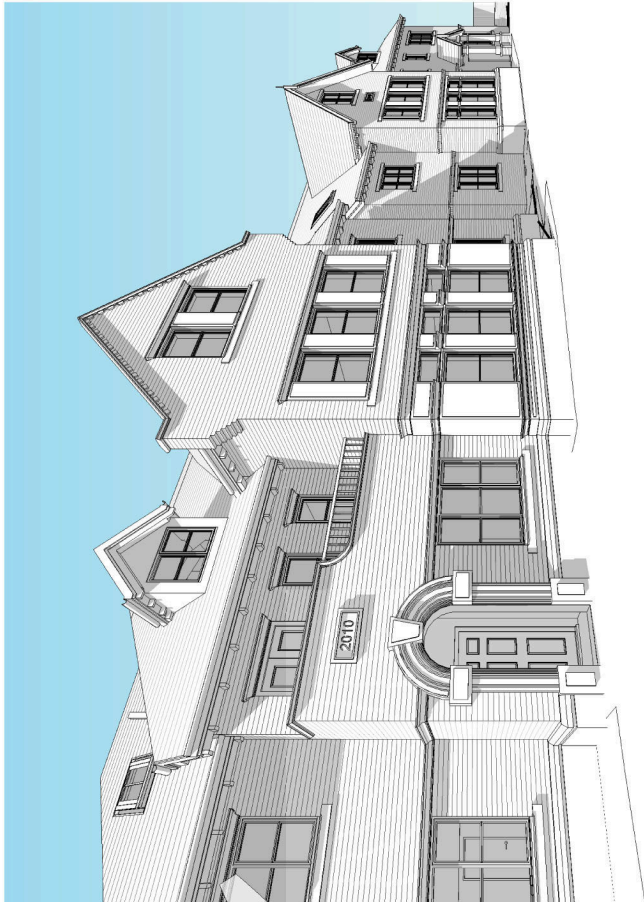


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Rev	Description	Date



Perspective from north corner of site



Perspective from north west corner of site

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**Client:** KEBBELL HOMES

**Project:** 103-107 Ducks Hill Road,  
Northwood,  
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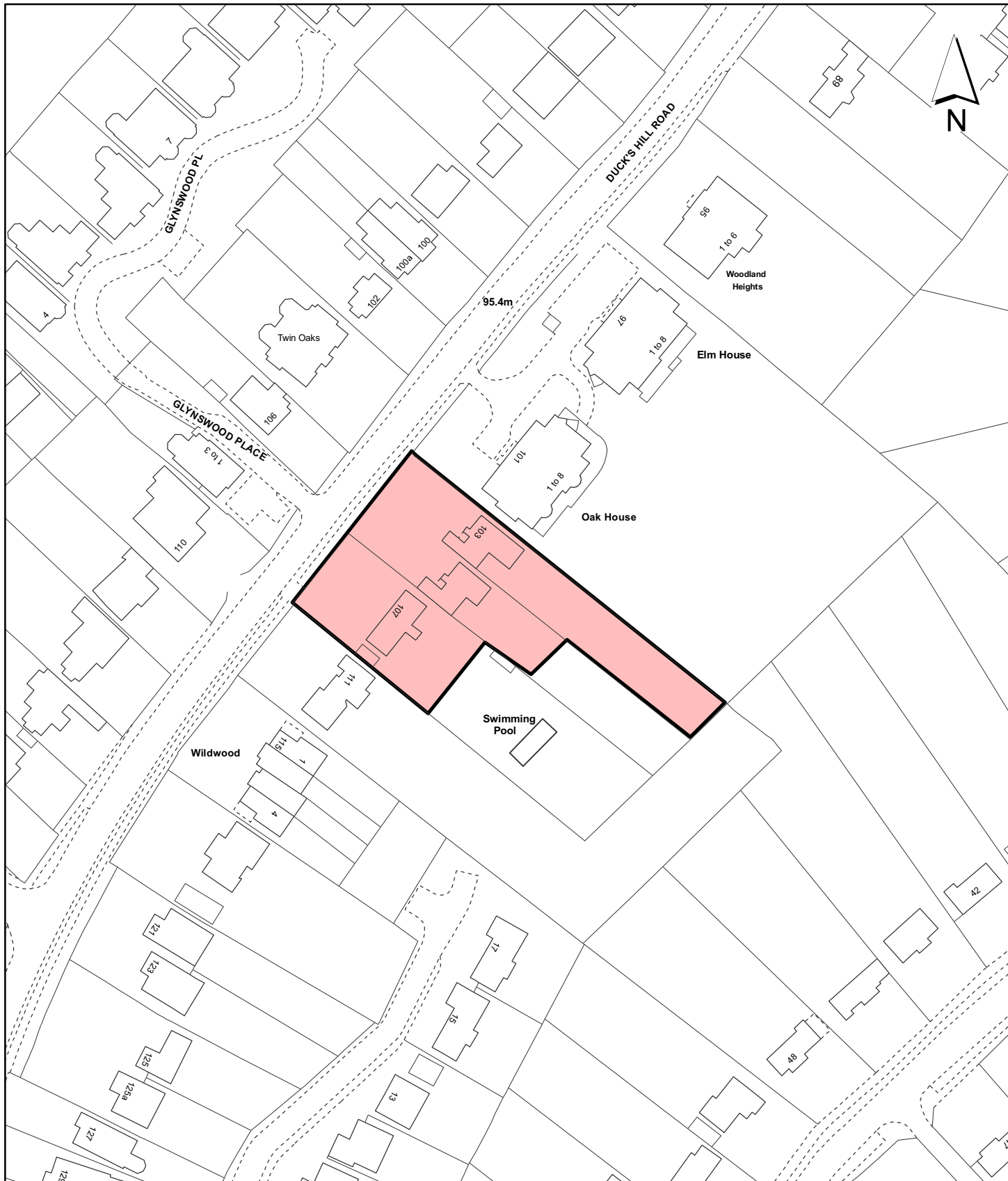
**Title:** Proposed 3D  
Visualisations

**Status:** PLANNING

**Scale:**                      **Date:** April 2011

**Revision:**                 **Sheet:** A3

**Drwg No:** FSW 10 - 725 - 150 -SK



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**103, 105 and 107 Ducks Hill Road  
Northwood**

Planning Application Ref:  
**64345/APP/2011/1945**

Planning Committee  
**North** Page 179

Scale  
**1:1,250**

Date  
**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning & Enforcement Services**

**Address** 11 HOYLAKE GARDENS RUISLIP

**Development:** Conversion of existing dwelling into 2 x 2 bed self contained flats with associated amenity space and parking involving 2 storey side extension, single storey rear extension and conversion of roof space into habitable use to include roof dormer and demolition of existing attached garage to side

**LBH Ref Nos:** 66856/APP/2011/2263

**Date Plans Received:** 20/09/2011

**Date(s) of Amendment(s):**

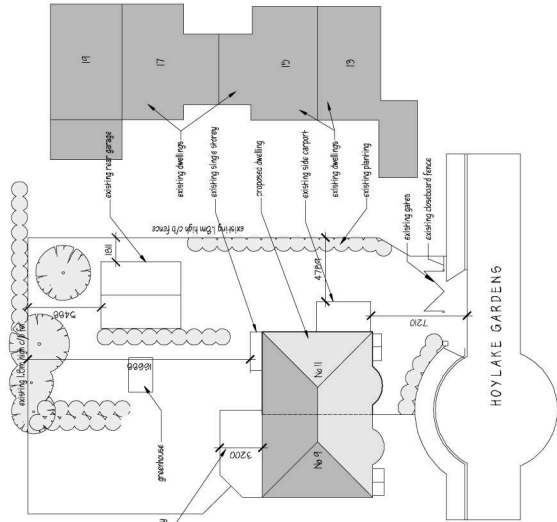
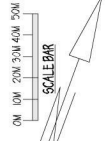
**Date Application Valid:** 26/09/2011

NOTES

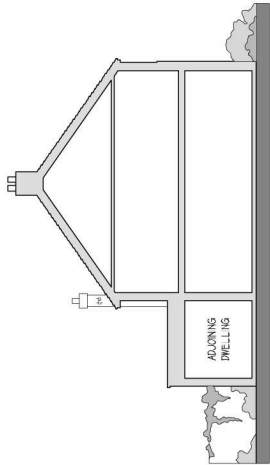
1. All dimensions are to be double checked on site prior to the commencement of work and any discrepancy is to be reported to the construction manager before construction.
2. All work is to comply with current Building Regulations and all legislation.
3. All contractors and sub-contractors must ensure that they have the latest issue.
4. All drawings and details to be submitted for the commencement of work on site.
5. All materials are to be used and installed in strict compliance with the manufacturer's instructions and recommendations.
6. All works on this drawing and implemented as a result of the design are to be carried out in accordance with the Building Regulations in force at the time of design and implementation. All works on site and as shown are to be undertaken if it is contained here compliance with the Building Regulations cannot be achieved.
7. All dimensions shown in millimeters.
8. Top profile of buildings shown at 0m above ground level.



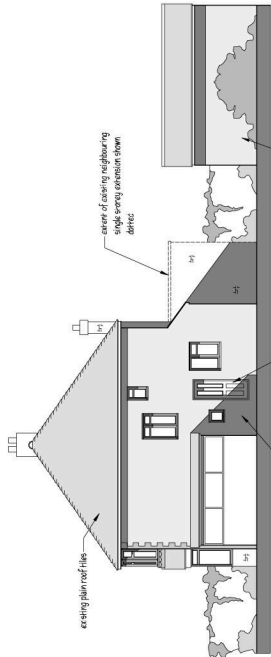
LOCATION PLAN SCALE 1:250



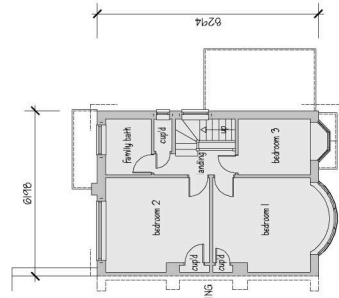
SITE LAYOUT SCALE 1:200



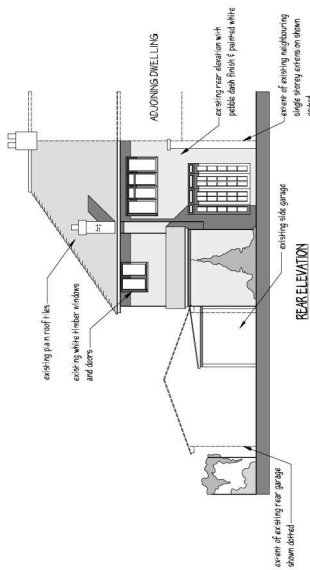
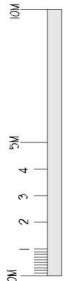
PARTY SECTION



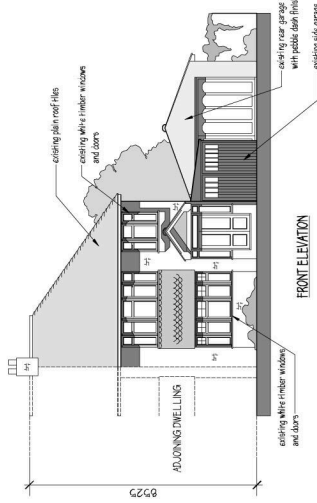
SIDE ELEVATION



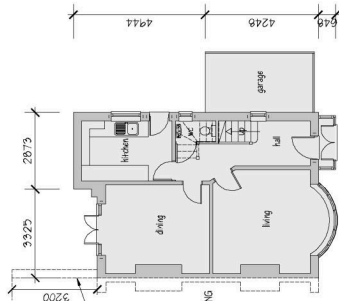
FIRST FLOOR PLAN



REAR ELEVATION



FRONT ELEVATION



GROUND FLOOR PLAN

SCALE BAR

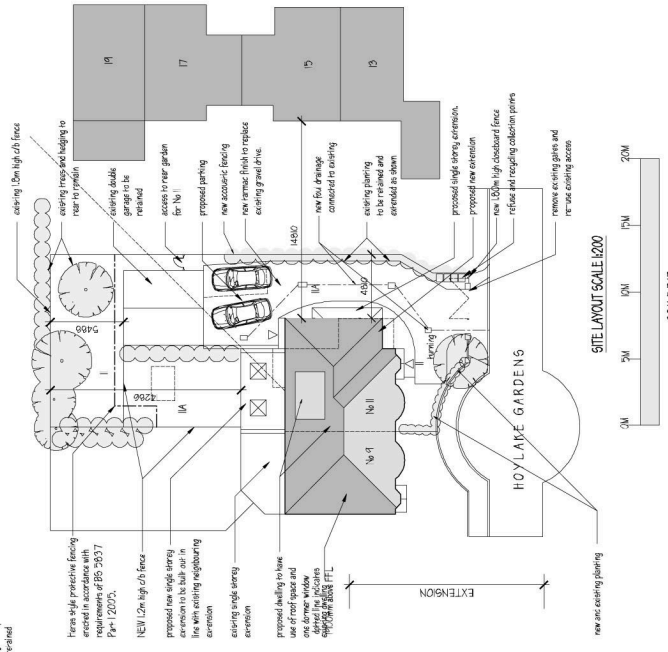
	<b>PLANNING ASSOCIATES</b> RESIDENTIAL AND COMMERCIAL TEL: 01895-831023		Drawing No: <b>10/11/23/1</b>
	Client: <b>MR PHIL DUBEK</b>	Project: <b>LAND AT HOYLAK GARDENS, EASTCOTE, MIDDLESEX, HA 4RJ</b>	Drawing No: <b>10/11/23/1</b>
Scale: <b>1:100 (P.A)</b>	Date: <b>10/09/20</b>	Checked: <b>PAO</b>	Drawn: <b>FJ</b>
<b>DETAILS OF EXISTING HOUSE AND GARDEN</b>			

NOTES

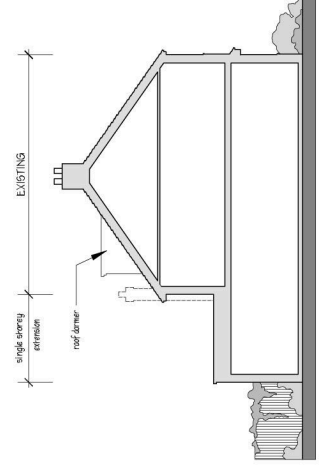
1. All dimensions are to be checked on site prior to the commencement of any work. Any discrepancy is to be reported to the construction manager before commencement.
2. All work is to comply with current Building Regulations and all applicable legislation.
3. All instructions and site instructions must ensure that they have been read and understood by all relevant personnel. If there is any uncertainty or if the drawing and data is held by the construction manager or the architect, the work is to be undertaken in accordance with the Building Regulations as set out below.
4. All materials are to be used and installed in strict accordance with the manufacturer's instructions and recommendations.
5. All work is to be managed and implemented in a way that ensures that the site is safe and secure at all times. All safety measures are to be implemented in accordance with the Health and Safety at Work Act 1974 and the Construction (Design and Management) Regulations 2015. All safety measures are to be implemented in accordance with the Building Regulations as set out below.
6. The drawing is to be used as a guide.
7. All dimensions shown in millimeters.
8. The ground level of the building shown in the drawing is to be used as the datum for all dimensions.



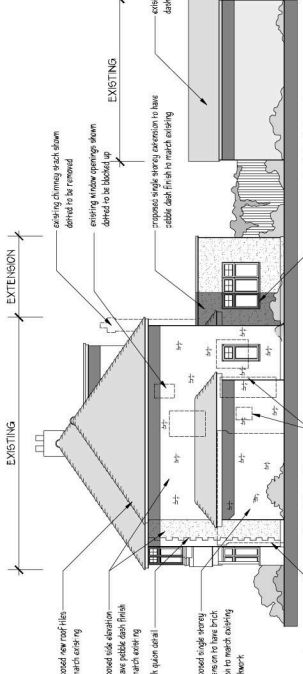
LOCATION PLAN SCALE 1:200  
0M 20M 30M 40M 50M  
SCALE BAR



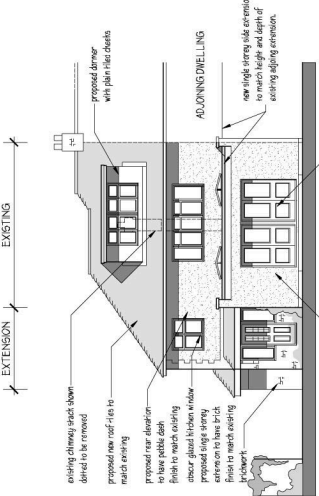
SITE LAYOUT SCALE 1:200  
0M 2M 10M 20M  
SCALE BAR



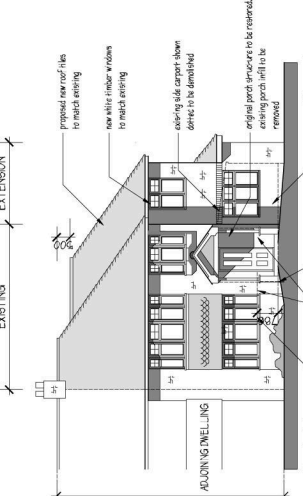
PARTY SECTION



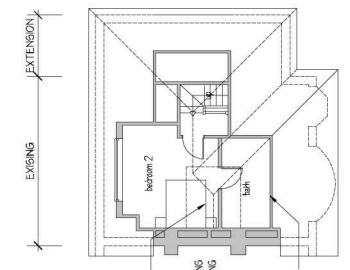
SIDE ELEVATION



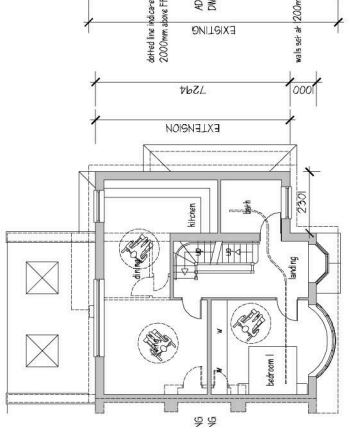
REAR ELEVATION



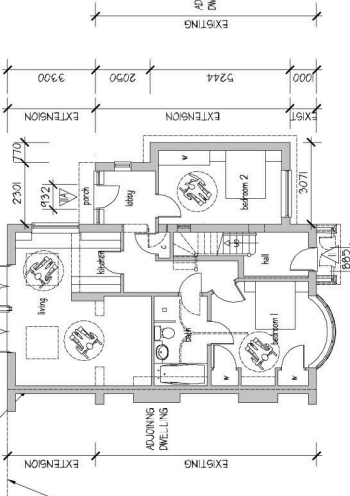
FRONT ELEVATION



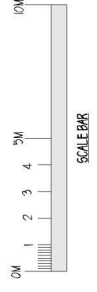
ROOF FLOOR PLAN



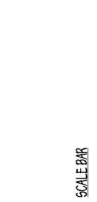
FIRST FLOOR PLAN



GROUND FLOOR PLAN



SCALE BAR



SCALE BAR

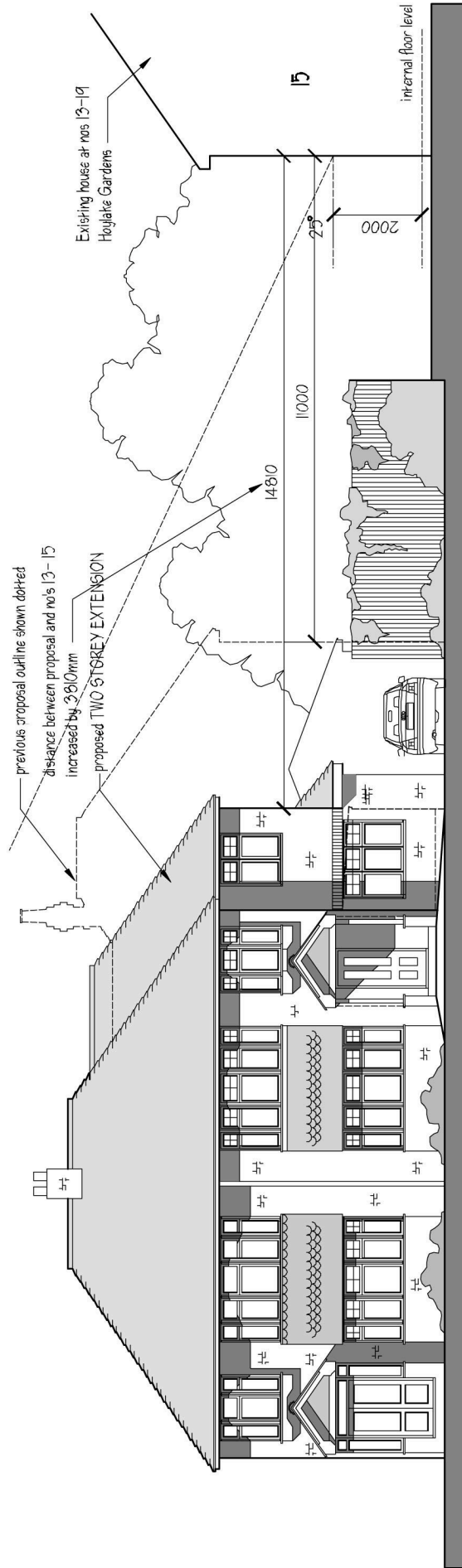


SCALE BAR

Client: MR PHIL DUGEK  
Scale: 1:500 P/A  
Date: 11/06/20  
Project: LAND AT HOYLAK GARDENS, EASTCOTE, MIDDLESEX, HA4 9GJ  
Drawing No: 04/17/20/2  
Sheet No: 04/17/20/2

DAVID JONES ASSOCIATES  
ARCHITECTS AND INTERIORS  
TEL: 0800 631 1103  
F.L.A.T. 1.8/19 4/F. FLAT 2, 91/70 4/F. 0.040 N

**STREET SCENE FRONTING HOYLAKE GARDENS**

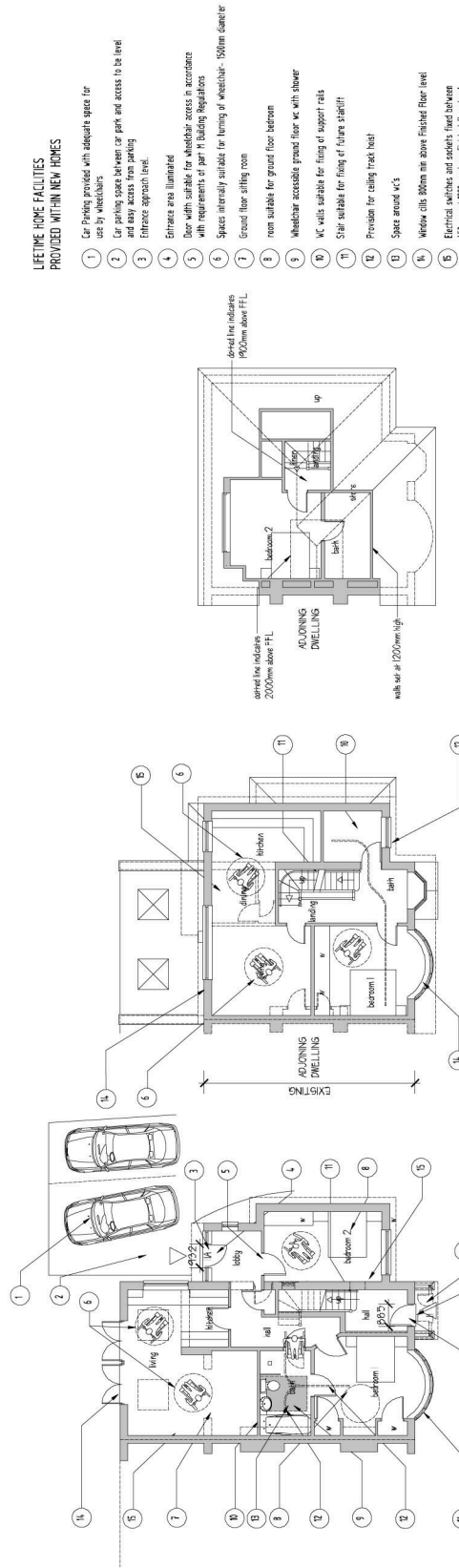


**DRAWING NO 1097/P3/3**

**DUSEK DESIGN ASSOCIATES**



**SCALE BAR 1:100 AT A3**



**LIFETIME HOME FACILITIES PROVIDED WITHIN NEW HOMES**

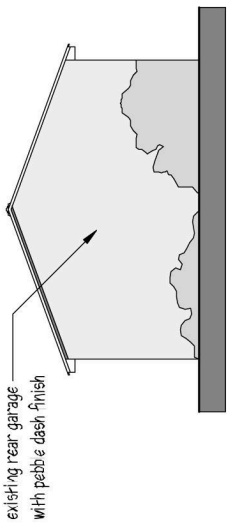
- 1 Car Parking provided with adequate space for use by wheelchairs
- 2 Car parking space between car park and access to be level and easy access from parking
- 3 Entrance approach level.
- 4 Entrance area illuminated.
- 5 Door width suitable for wheelchair access in accordance with requirements of part M1 building regulations
- 6 Spaces internally suitable for turning of wheelchair - 1500mm diameter
- 7 Ground floor sitting room
- 8 room suitable for ground floor bedroom
- 9 Wheelchair accessible ground floor WC with shower
- 10 WC walls suitable for fixing of support rails
- 11 Stair suitable for fixing of future stairlift
- 12 Provision for ceiling track lift
- 13 Space around WC's
- 14 Window sills 900mm min above Finished Floor level
- 15 Electrical switches and sockets fixed between 450mm and 1200mm above Finished floor level



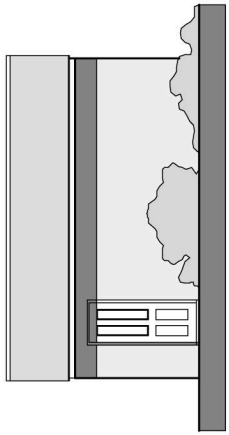
Client	MR PHIL DUBEK	Scale	A30 (E & J)	Drawn	TF
Project	LAND AT THOYLAKE GARDENS, EASTCOTE, MIDDLESEX, HA4 9GJ	Project	LAND AT THOYLAKE GARDENS, EASTCOTE, MIDDLESEX, HA4 9GJ	Drawn	TF
Planning	PLANNING PROPOSALS	Project	LAND AT THOYLAKE GARDENS, EASTCOTE, MIDDLESEX, HA4 9GJ	Drawn	TF
Layouts	LIFETIME HOMES LAYOUTS	Project	LAND AT THOYLAKE GARDENS, EASTCOTE, MIDDLESEX, HA4 9GJ	Drawn	TF

**QAD**  
**QAD DESIGN ASSOCIATES**  
 ARCHITECTS AND INTERIORS DESIGNERS  
 TEL: 01875 831103

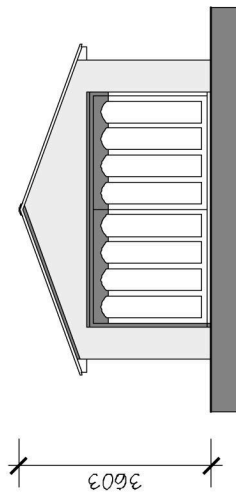




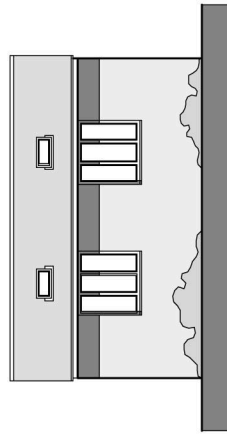
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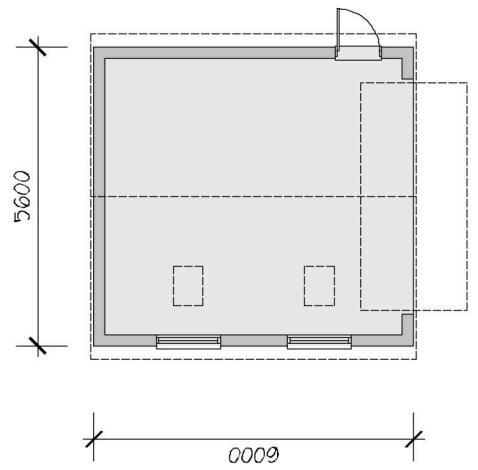
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



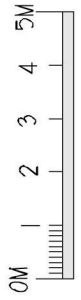
FLOOR PLAN

HOYLAK GARDENS

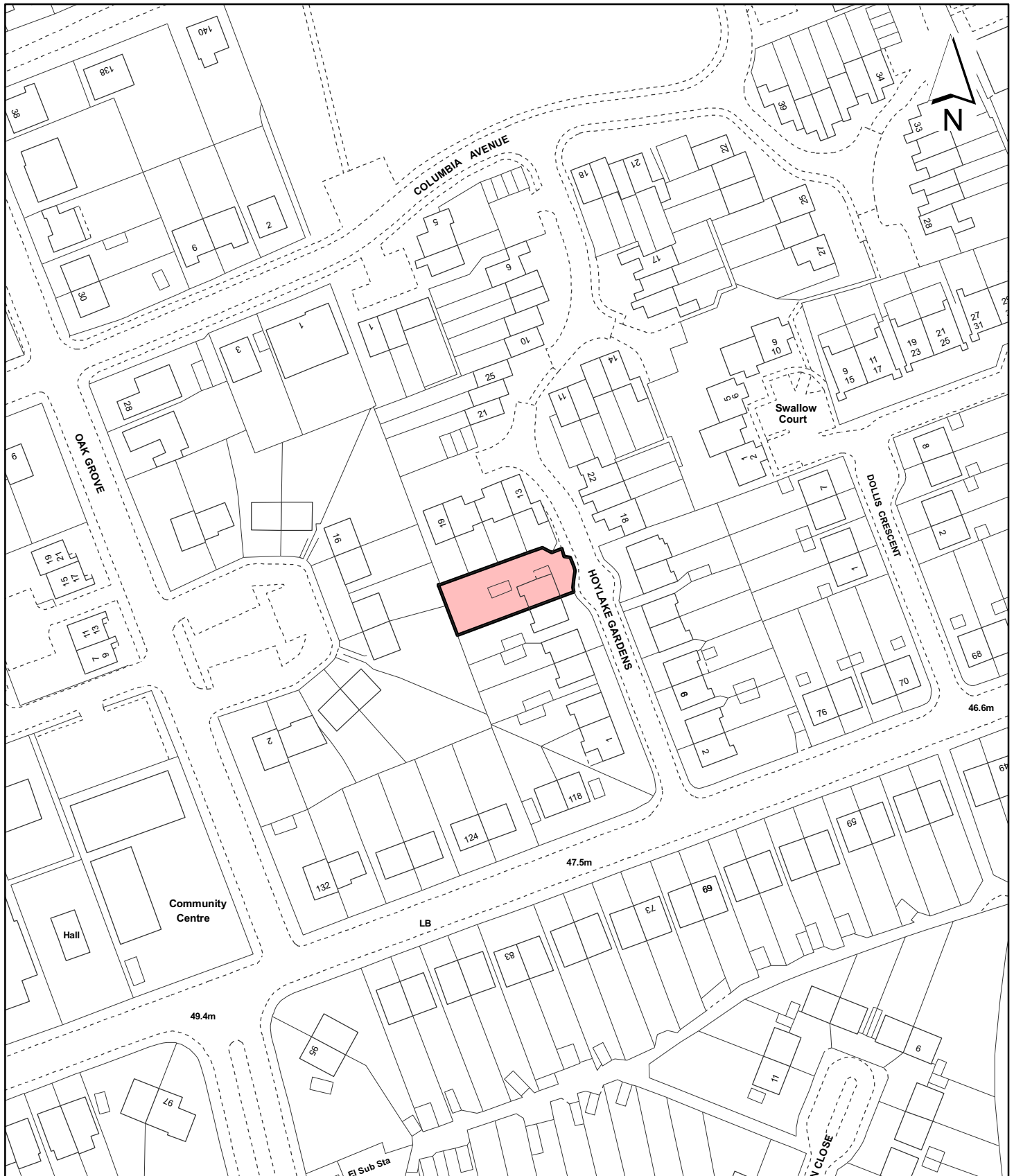
DETAILS OF EXISTING DOUBLE GARAGE



DRAWING NO 10977P3/4

DUSEK DESIGN ASSOCIATES



SCALE BAR 1:100 AT A3



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2011 Ordnance Survey 100019283</p>	<p>Site Address</p> <p align="center"><b>11 Hoylake Gardens Ruislip</b></p>		<p align="center"><b>LONDON BOROUGH OF HILLINGDON</b> Planning, Environment, Education &amp; Community Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p> <p align="center">   <b>HILLINGDON</b>          LONDON       </p>
	<p>Planning Application Ref:</p> <p align="center"><b>66856/APP/2011/2263</b></p>	<p>Scale</p> <p align="center"><b>1:1,250</b></p>	
	<p>Planning Committee</p> <p align="center"><b>North</b> Page 186</p>	<p>Date</p> <p align="center"><b>November 2011</b></p>	

## Report of the Head of Planning & Enforcement Services

**Address** LITTLE HAMMONDS BREAKSPEAR ROAD NORTH HAREFIELD

**Development:** Change of use of site from Class C3 (Dwelling House) to mixed use Class C3 (Dwelling house) and Class D1 (Non-Residential Institutions), involving the erection of a single storey building at the rear for use as a meeting room (Use Class D1) with associated parking. Single storey side extension to the existing dwelling house (involving demolition of part of existing garage), new access road involving demolition of existing single storey side extension and the installation of 2 vehicular crossovers, new wall to front boundary and new fence to side.

**LBH Ref Nos:** 35910/APP/2011/718

<b>Date Plans Received:</b>	23/03/2011	<b>Date(s) of Amendment(s):</b>	23/03/2011
<b>Date Application Valid:</b>	29/03/2011		21/06/2011
			19/09/2011
			23/09/2011
			27/09/2011
			29/09/2011

REVISION	DATE	NOTE
A	FEBRUARY 2011	CRICKET CLUB WALL RADIIUS INCREASED & ANTI-FEED PAVING REMOVED
B	FEBRUARY 2011	MEETING HALL INCREASED & SURROUNDING SITE DETAIL
C	MARCH 2011	DIMENSIONS TO VEHICULAR ACCESS, PARKING SPACES & WALL ELEVATION
D	MAY 2011	ROOF PITCH OF MEETING ROOMS & ROOF PLAN AMENDED
E	JUNE 2011	BOUNDARY LINE FOLLOWING CURVE OF WALL & TREE DETAILS AMENDED
F	SEPTEMBER 2011	PASSING BAY & FOOTPATH ADDED



**SITE PLAN**

**SCHEDULE OF LANDSCAPING & PLANTING**

**Trees NT1-7**  
As per Barlett's Tree Planting Schedule.

**Hedge NT1**  
Horsebeam hedging, planted in a double staggered row with 4 plants per 1.0m. 60 - 80mm container grown plants, planted in 300 by 300mm planting pits incorporating 50% compost in backfill.

**Planting**  
Mixed beds consisting of:  
Sensio Sunshin 300 - 600mm high at 800 x 4.  
Sensio Sunshin 300 - 600mm high at 800 x 4.  
Eucyprus Fortune Emerald Gully 750 - 300mm high at 800 x 4.  
2.0m high roseboard fencing.

**Fencing**  
EcoGrid interlocking grass grid on crushed rock permeable sub-base.

**Carpark**  
Marshall's Drivestret Tegula Pavers permeable block paving in permanent grey with pedestrian refuse in traditional red on built up sub-base.

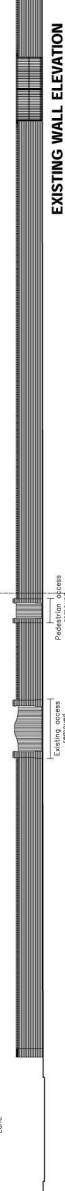
**Access**  
Marshall's Drivestret Tegula Pavers permeable block paving in permanent grey on built up sub-base to front of building & entire disabled space.

**Driveway**  
Disassembled enclosure with doors and cover.

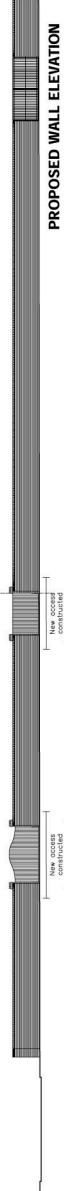
**Bin store**  
Horsewood boarded to match 'Little Hammonds'.

**Gates**  
Re-use existing gates & built with radius.

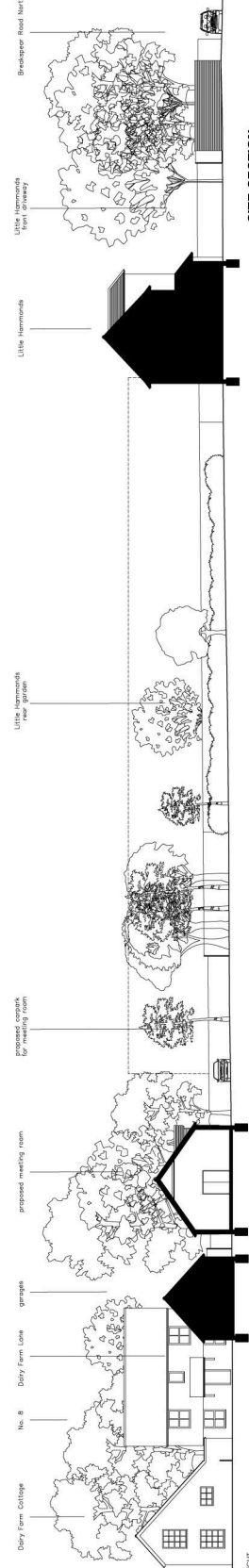
**New wall**  
Re-use existing bricks & built with radius.



**EXISTING WALL ELEVATION**



**PROPOSED WALL ELEVATION**



**SITE SECTION**

**home plans**  
Church Gardens, Church Hill, Warefield, Middlesex UB9 8DU  
T: 01895 822488 F: 01895 822488  
E: patrick@homeplans.co.uk

**CLIENT:** STREAMSIDE GOSPEL HALL TRUST

**PROJECT:** MEETING ROOM AT 'LITTLE HAMMONDS', BREAKSPEAR ROAD NORTH, HAREFIELD, UB9 6NE

**TITLE:** OUTLINE PROPOSAL  
SITE LAYOUT PLAN 4

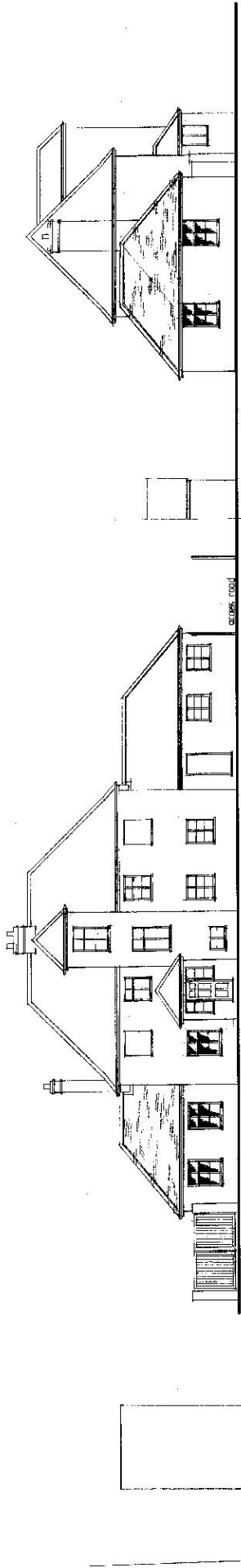
**DATE:** JANUARY 2011

**SCALE:** 1:250 @ A1

**DRAWN:** A B C D E F

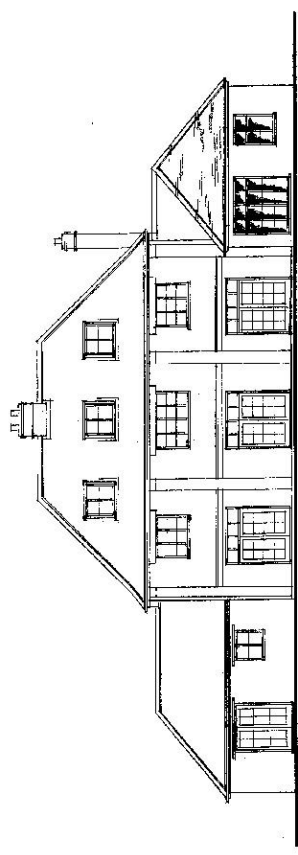
**DRG NO.:** 1465 - 7

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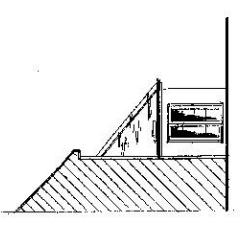


FRONT VIEW

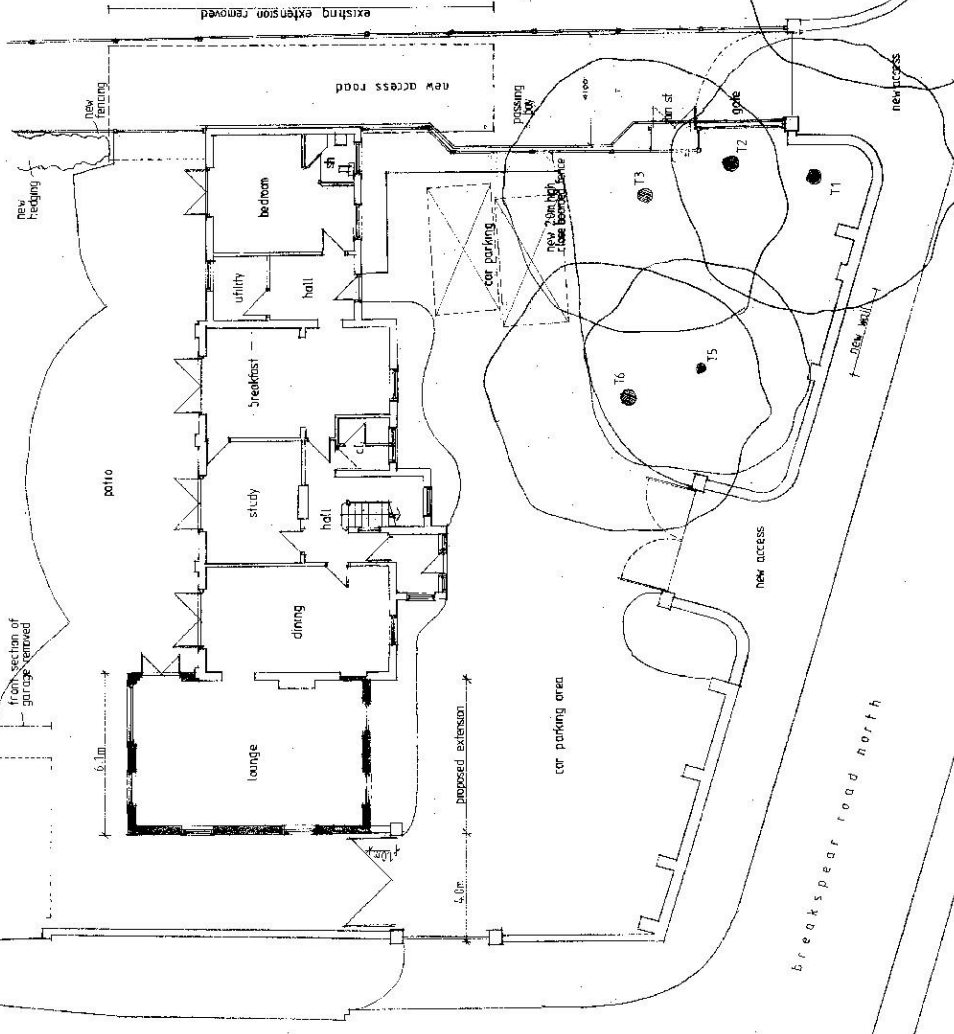
SIDE VIEW



REAR VIEW



SIDE VIEW



RIDE LAYOUT PLAN



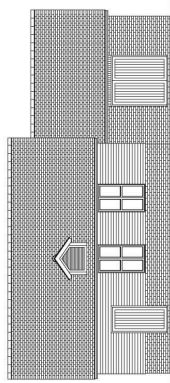
4. SEE 11.1. REVISIONS LISTED IN THE REVISIONS LIST.  
 5. SEE 11.1. REVISIONS LISTED IN THE REVISIONS LIST.  
 6. SEE 11.1. REVISIONS LISTED IN THE REVISIONS LIST.

**Home Plans**  
 Church Gardens, Church Walk, Stratford, Middlesex, UB99 6DQ  
 Tel: 0181 608 0800 Fax: 0181 608 0808

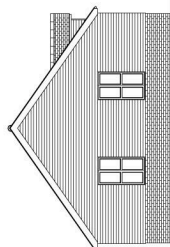
CLIENT: MR & MRS FRY  
 PROJECT: LITTLE HAMMONDS  
 BREAKSPEAR ROAD NORTH, HAREFIELD

Date: OCT. 70 Drawn: [Signature]  
 Scale: 1:100 A1 A1  
 Dwg. No: 1566/2c  
 DESIGN PROPOSAL

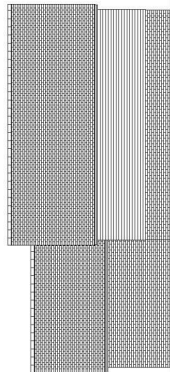
REVISION	DATE	NOTE
A	FEBRUARY 2011	MEETING ROOM INCREASED & SITE DETAIL ADDED
B	MAY 2011	ROOF PITCH AMENDED & STEP IN FOYER SIDE OF BUILDING
B	JUNE 2011	HALF PIP FEATURE REMOVED



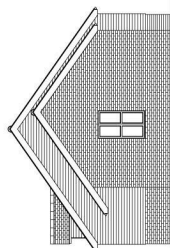
FRONT ELEVATION



SIDE ELEVATION

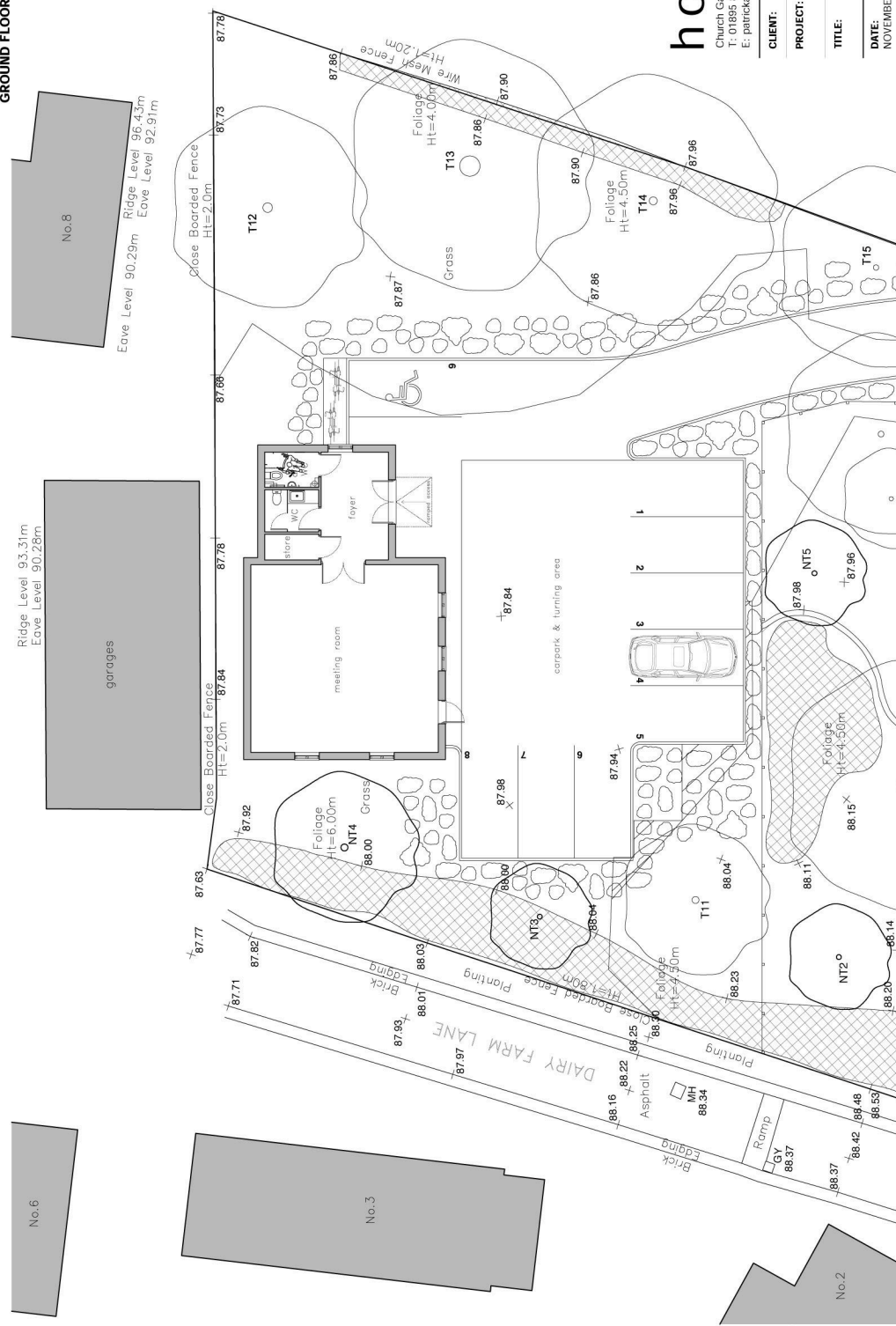


REAR ELEVATION



SIDE ELEVATION

GROUND FLOOR LAYOUT



**SCHEDULE OF MATERIALS & FINISHES**

Walls	Rowington multi stone facing brick with 150mm strip lap boarding stained black.
Windows & doors	Hardwood timber framed sash stained.
Roof	Redwood Rosemary plain clay tiles & matching half round ridge tiles.
Facades & soffits	Softwood stained black.
Rainwater goods	100mm half round guttering & 60mm downpipe in black UPVC.
Cycle stands	Sharfield style variant from Harlestone range in galvanneal steel.

**homeplans**  
 Church Gardens, Church Hill, Harefield, Middlesex UB9 8DU  
 T: 01895 822488 F: 01895 822488  
 E: patrick@homeplans.co.uk

CLIENT: STREAMSIDE GOSPEL HALL TRUST

PROJECT: MEETING ROOM AT 'LITTLE HAMMONDS' BREAKSPEAR ROAD NORTH, HAREFIELD

TITLE: DESIGN PROPOSAL MEETING ROOM

DATE: NOVEMBER 2010

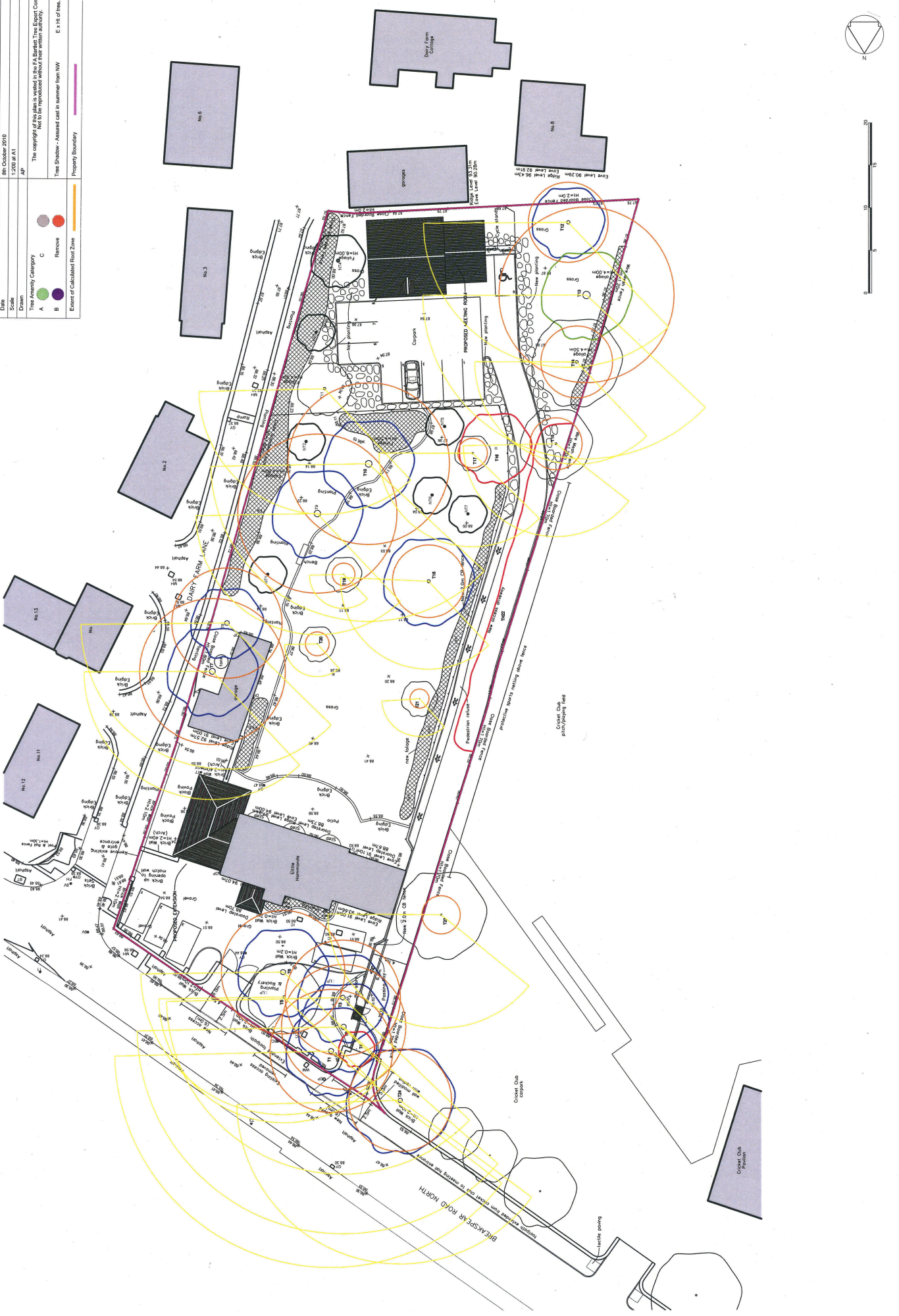
SCALE: 1:100 @ A1

DRAWN: A, B, C

DIRG NO: 1465 - 6

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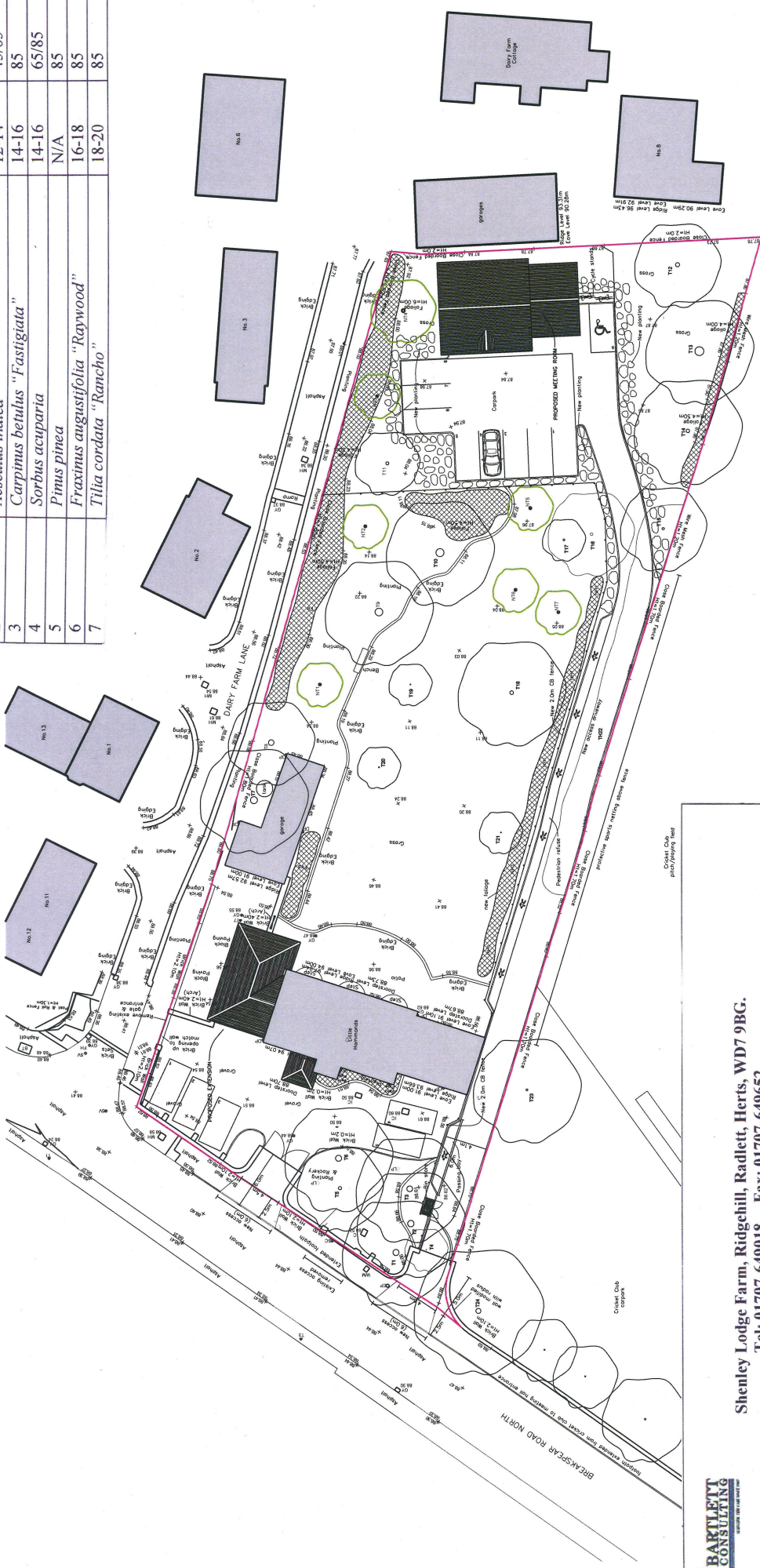
Client:	M/S Fry
Site:	11000 Hammocks, Breakwater Road North, Inveread, USR ONE
Drawings Title:	Site Remediation Plan - 10/11/2005
Reference:	AP
Date:	30 October 2010
Scale:	1:200 at A1
Drawn:	AP
Tree Amenity Category:	A B C
The copyright of this plan is vested in the FA Barrett Tree Experts Company Ltd. No to be reproduced without their written authority.	
Tree Status - Assessed case is summer from NW	E = H of tree
Property boundary	
Extent of Calculated Root Zone	







Tree Number	Tree Species	Girth (cm)	Pot Size (Litres)
1	<i>Quercus petraea</i>	16-18	85
2	<i>Aesculus indica</i>	12-14	45/65
3	<i>Carpinus betulus</i> "Fastigiata"	14-16	85
4	<i>Sorbus acuparia</i>	14-16	65/85
5	<i>Pinus pinea</i>	N/A	85
6	<i>Fraxinus augustifolia</i> "Raywood"	16-18	85
7	<i>Tilia cordata</i> "Rancho"	18-20	85



Shlenley Lodge Farm, Ridgehill, Radlett, Herts, WD7 9BG.  
 Tel: 01707-649018 Fax: 01707-649652  
[consultancy@bartlettuk.com](mailto:consultancy@bartlettuk.com)



Client	Mr. Steve Fry
Site	"Little Hammonds, Breakspear Road North, Harefield, UB9 6NE
Drawing Title	New Planting Plan
Reference	AP1610 R/ss
Date of Survey	04/11/2010
Scale	1:200 at A3
Drawn	AP
New Tree Locations	The copyright of this plan is vested in the FA Bartlett Tree Expert Company Ltd. Not to be reproduced without their written authority.
Property boundary	





Clover House  
Western Lane  
Odiham  
Hampshire, RG29 1TU  
Tel: 01256 703935  
Fax: 01256 704934  
Email: info@bellamyroberts.co.uk

CLIENT  
Streamside Gospel Hall Trust  
PROJECT  
Little Hammonds, Harefield  
TITLE  
Extent of "no dig" driveways

DESIGNED BY	GPW	GPW	ITR
DATE	20/09/11	DRAWN No.	3940/F103
SCALE	1:250 @ A3	REV No.	



Notes  
Areas between highway boundary and "no dig" areas to be "hard dig" areas with as little disturbance to root systems as possible (i.e. "no dig" where levels allow)



**Report of the Head of Planning & Enforcement Services**

**Address** 1 HARVIL ROAD HAREFIELD

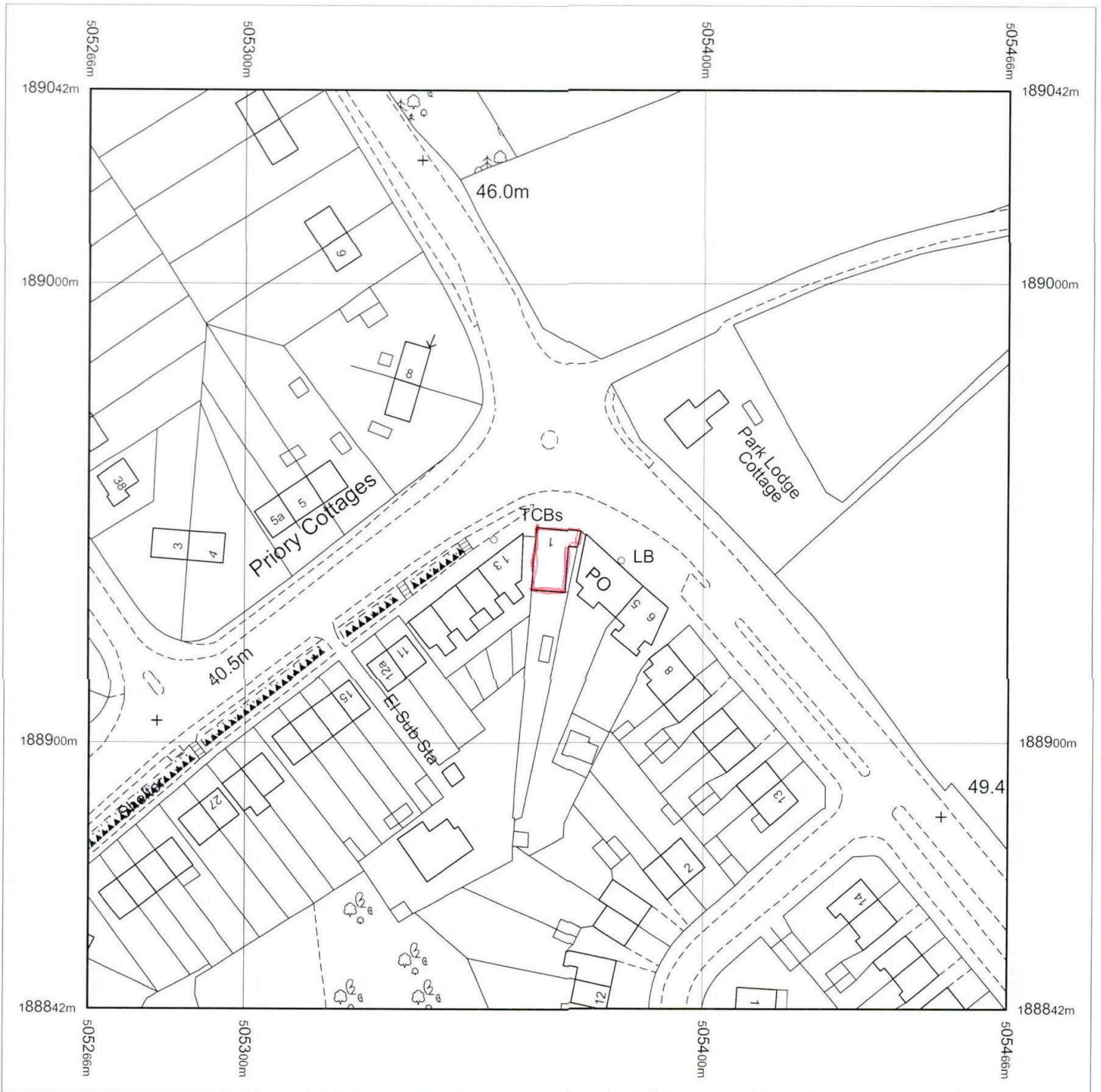
**Development:** Variation of conditions 1 and 2 of planning permission ref. 13701/APP/2004/193 dated 30-04-2004 to allow the private care hire/chauffer business to operate 24 hours a day (retention of part of shop as private car hire/chauffeur business)

**LBH Ref Nos:** 13701/APP/2011/2334

**Date Plans Received:** 27/09/2011

**Date(s) of Amendment(s):**

**Date Application Valid:** 29/09/2011



Produced 27.09.2011 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2011.

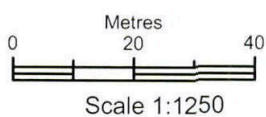
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The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.

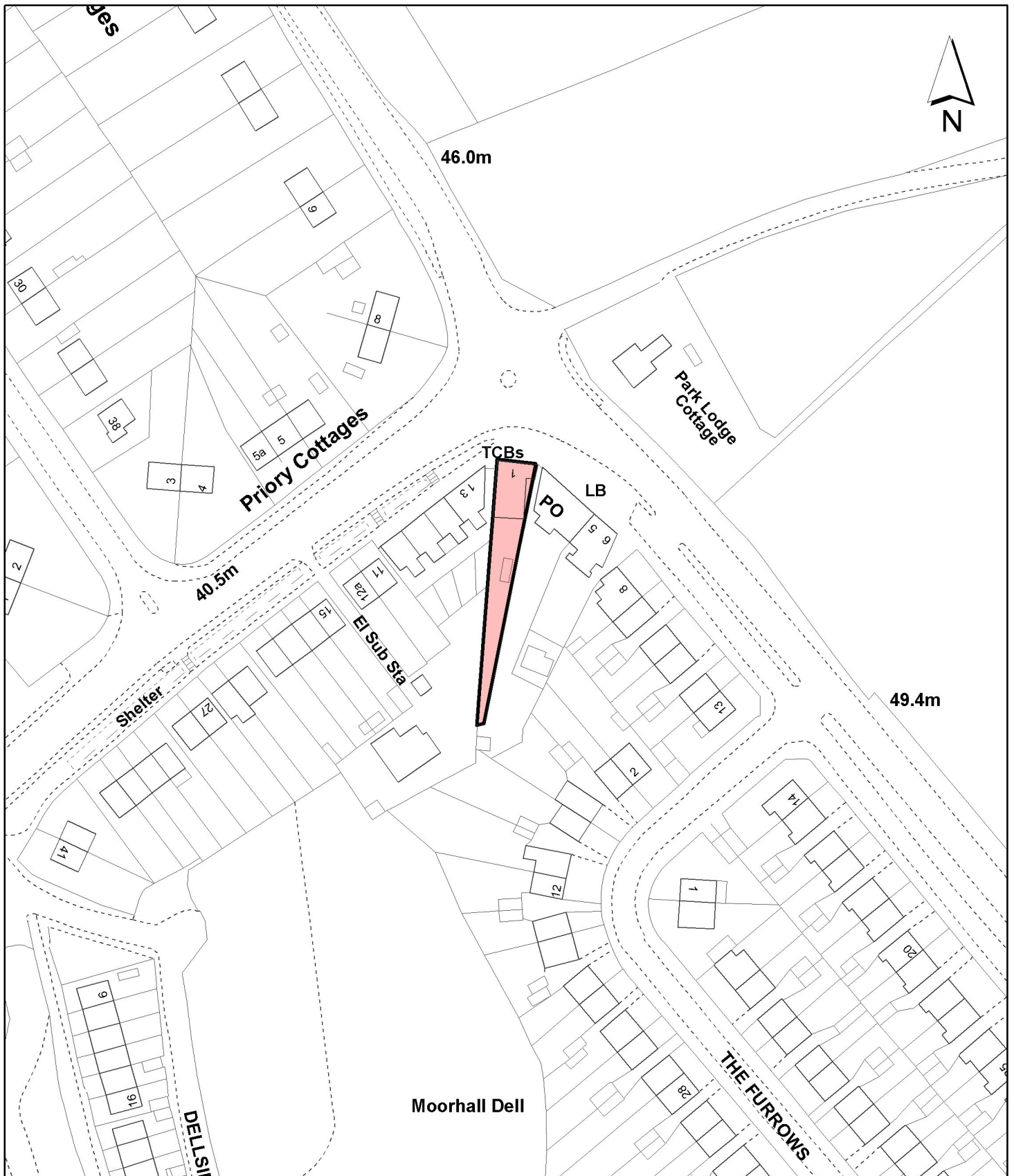
Part or all of this OS Sitemap is enlarged from mapping produced at one or more of the following scales: 1:1250, 1:2500, 1:10000.





Supplied by: **Prontaprint Uxbridge**  
 Serial number: 00009400  
 Centre coordinates: 505366.13 188942.13

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site: [www.ordnancesurvey.co.uk](http://www.ordnancesurvey.co.uk)





<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2011 Ordnance Survey 100019283</p>	<p>Site Address</p> <p><b>1 Harvil Road Harefield</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b> Planning, Environment, Education &amp; Community Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>13701/APP/2011/2334</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	
	<p>Planning Committee</p> <p><b>North</b> Page 199</p>	<p>Date</p> <p><b>November 2011</b></p>	
		 <b>HILLINGDON</b> <small>LONDON</small>	

## **Report of the Head of Planning & Enforcement Services**

**Address** 13 SWAKELEYS ROAD ICKENHAM

**Development:** Change of use from Class A2 (Financial and Professional Services) and Class B1 (Business) to Class C3 (Dwelling Houses) to include 3 x 1-bed, 1 x bedsit and 1 x 2-bed self-contained flats involving conversion of roof space of rear building with a dormer to front and alterations to elevations of front building

**LBH Ref Nos:** 19121/APP/2011/2066

**Date Plans Received:** 22/08/2011

**Date(s) of Amendment(s):**

**Date Application Valid:** 05/09/2011



**ABBREVIATIONS:**

- BL - Beam Undergrade Level
- CL - Ceiling Level
- FAC - Floor to Air Conditioning Unit Height
- FC - Floor to Beam Height
- FD - Floor to Duct Height
- FL - Floor Level
- FS - Floor to Sill Height
- FSC - Floor to Suspended Ceiling Height
- RFL - Related Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height

**KEY:**

→ Radiator  
 All Arrows Point Up Unless Otherwise Stated



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**NOTES:**

1) Levels related to O.S. datum established by GPS

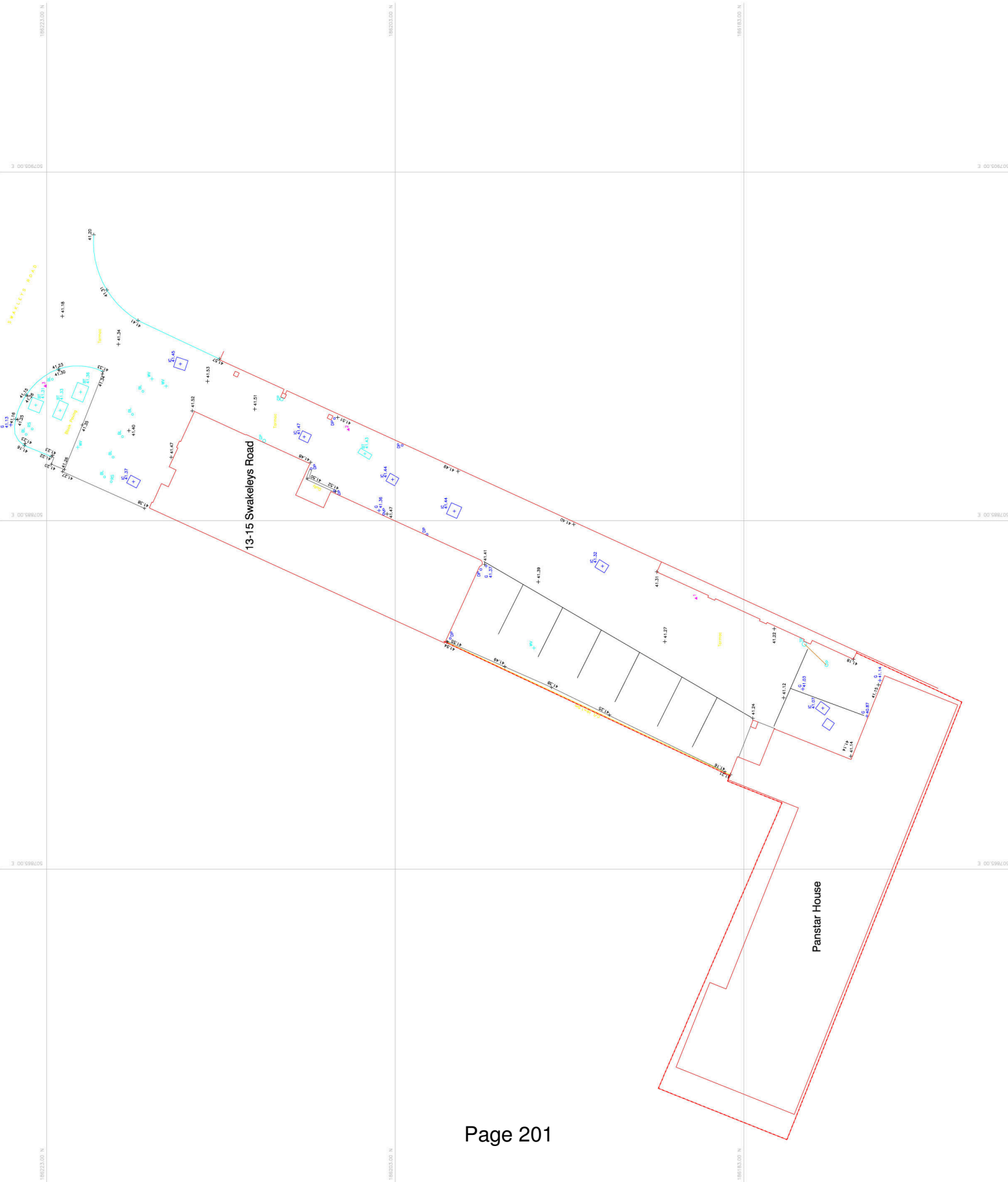
**REVISIONS:**

Rev	Date	Description	Drawn

**D B Surveys Ltd**  
 The Granary, Deane Farm, Churchfield Road, Woburn Sands  
 Bedfordshire, MK45 2JG  
 Fax: 01608 853266 Email: rna@db-surveys.co.uk

**Panstar House**  
 13-15 Swakeleys Road  
 Uxbridge  
 Land Survey

Drawn By: RFL	Scale: 1:1000	Date: May 2011	Drawn By: RFL
Checked By: RFL	Project Number: 11	Client: Panstar	Revision: 01





All dimensions are in millimeters unless otherwise stated. The contractor must verify all dimensions on site before the surveyor must be notified of any suspected discrepancies or omissions. Any scaled dimensions to be confirmed by the surveyor.

**Notes:**

**ABBREVIATIONS:**

- BL - Beam Underneath Level
- CL - Ceiling Level
- FA - Floor to Arch Height (Highest Point)
- FAC - Floor to Air Conditioning Unit Height
- FB - Floor to Beam Height
- FC - Floor to Structure Ceiling Height
- FD - Floor to Duct Height
- FE - Floor to Eave Height
- FH - Floor to Head Height
- FSC - Floor to Sill Height
- FSS - Floor to Suspended Ceiling Height
- RFL - Raised Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height

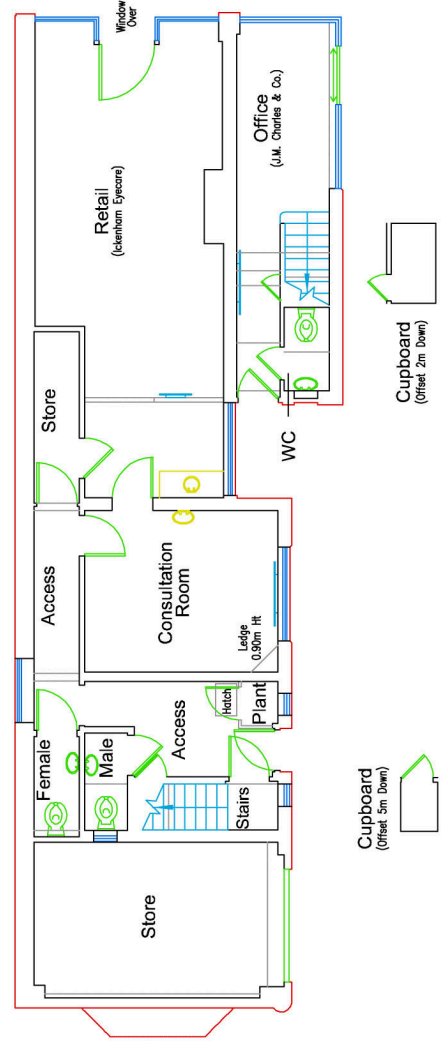
**KEY:**

- Radiator
- All Arrows Point Up Unless Otherwise Stated

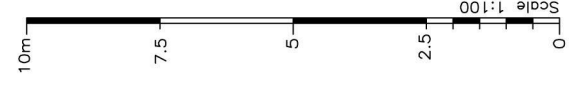
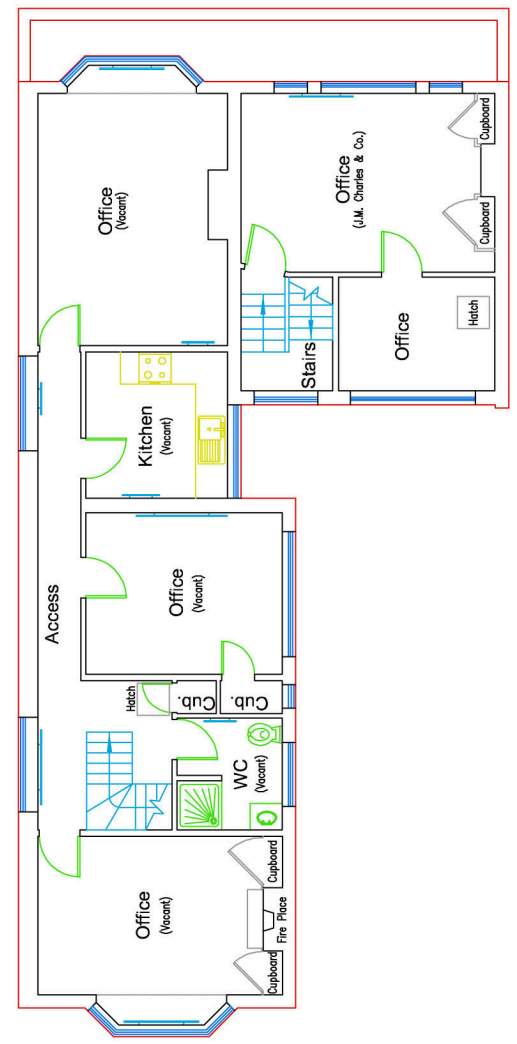


Swakeleys Road

**Ground Floor**



**First Floor**  
(Offset 15m Down)



D	31.08.2011	Approved address and window detail
C	17.08.2011	Planning issue
B	26.07.2011	Revision notes
A	16.07.2011	Draft proposals

**Gotzheim Associates**  
Chartered Building Surveyor

Jonathan Gotzheim - Chartered Building Surveyor  
11, Shaw Farm Lane, Ashbury, Leighton Buzzard, LU2 8BE  
Tel: 01525 231111 Fax: 01525 231112  
E: j.gotzheim@gotzheim.co.uk  
www.gotzheim.co.uk

**Pansstar Group Ltd**  
Pansstar House, 13-15 Swakeleys House, Uxbridge, UB10 8DF

Project No: Proposed Change of Use from B1 Office to Residential C1 Use	
Property No: Existing Ground and First Floor	
Scale: 1:100	Revision: A3
Date: June 11	Sheet: D
Drawing No: 3015 - PL - 2.03	

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**Notes:**

**ABBREVIATIONS:**

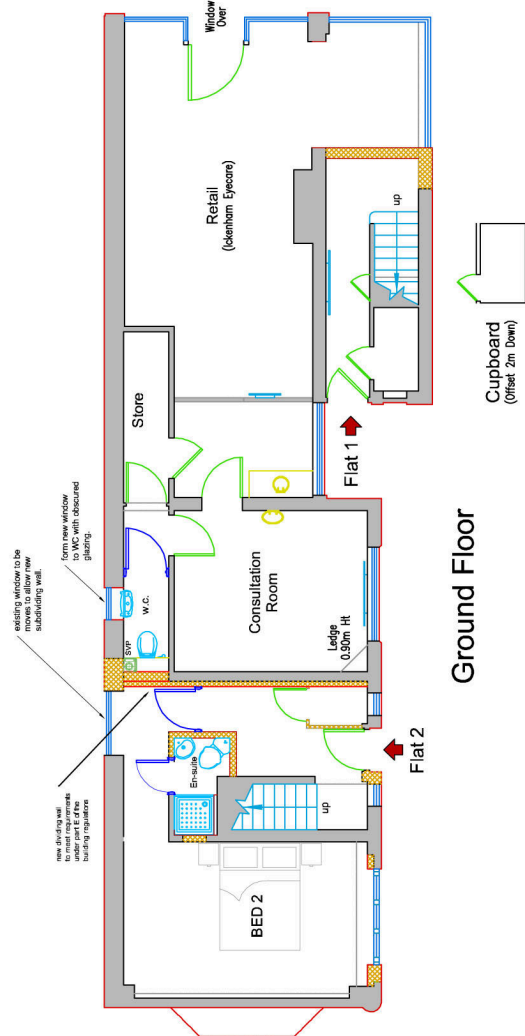
- BL - Beam Underneath Level
- CL - Ceiling Level
- FA - Floor to Arch Height (Highest Point)
- FAC - Floor to Air Conditioning Unit Height
- FB - Floor to Beam Height
- FC - Floor to Structure Ceiling Height
- FD - Floor to Duct Height
- FE - Floor to Eave Height
- FH - Floor to Head Height
- FS - Floor to Sill Height
- FSC - Floor to Suspended Ceiling Height
- RFL - Raised Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height

**KEY:**

- Radiator
- All Arrows Point Up Unless Otherwise Stated



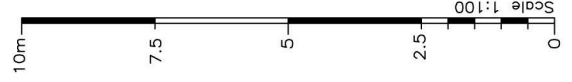
Swalekys Road



**Ground Floor**



**First Floor**  
(Offset 15m Down)



E	31/08/2011	Approved address and window detail
D	17/08/2011	Planning note
C	26/07/2011	Review structural layout Part 1
B	21/07/2011	Review structural layout
A	07/06/2011	Draft proposals

**Gotzheim Associates**  
Chartered Building Surveyor

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www.gotzheim.co.uk

<b>Client:</b> Panstar Group Ltd	
Address: 13-15 Swalekys Road, Uxbridge.	
Reference: UB10 BDF	
Project: Proposed Change of Use from B1 Office to Residential C1 Use	
Priority: Proposed Ground and First Floor	
Date: 1:100	Form No: A3
Drawn by: June 11	Rev: E
Drawing No: 3015 - PL - 2.01	

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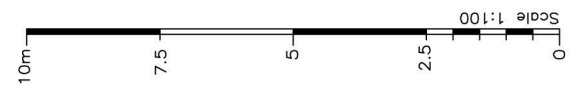
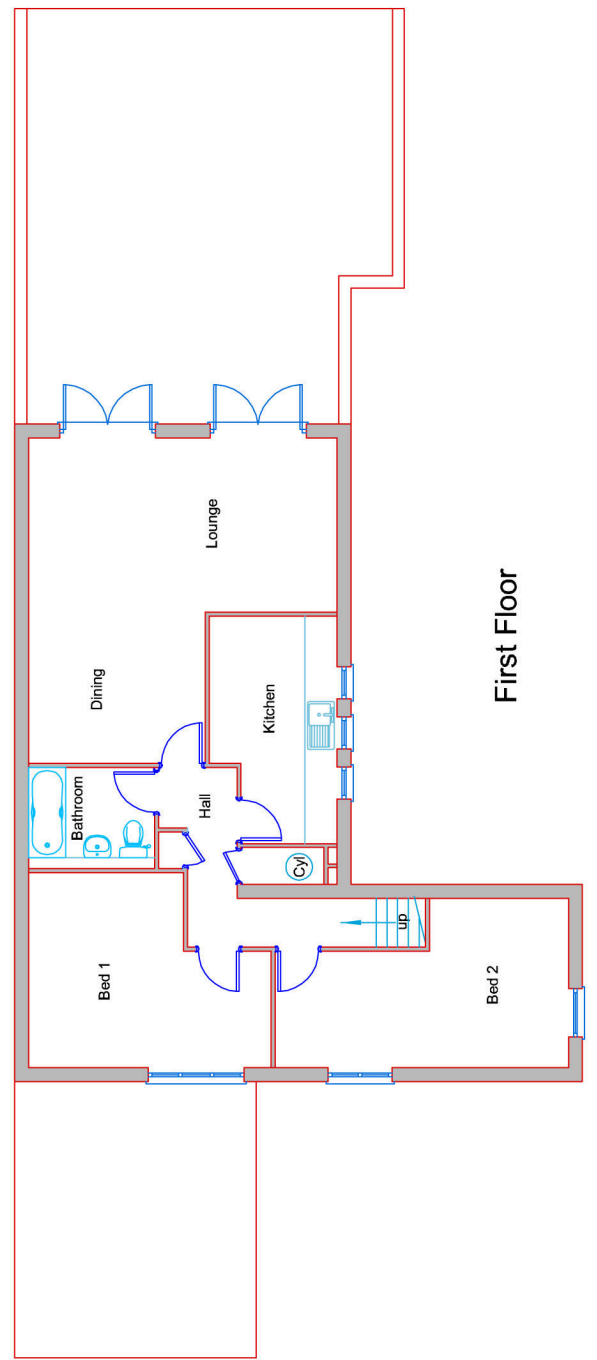
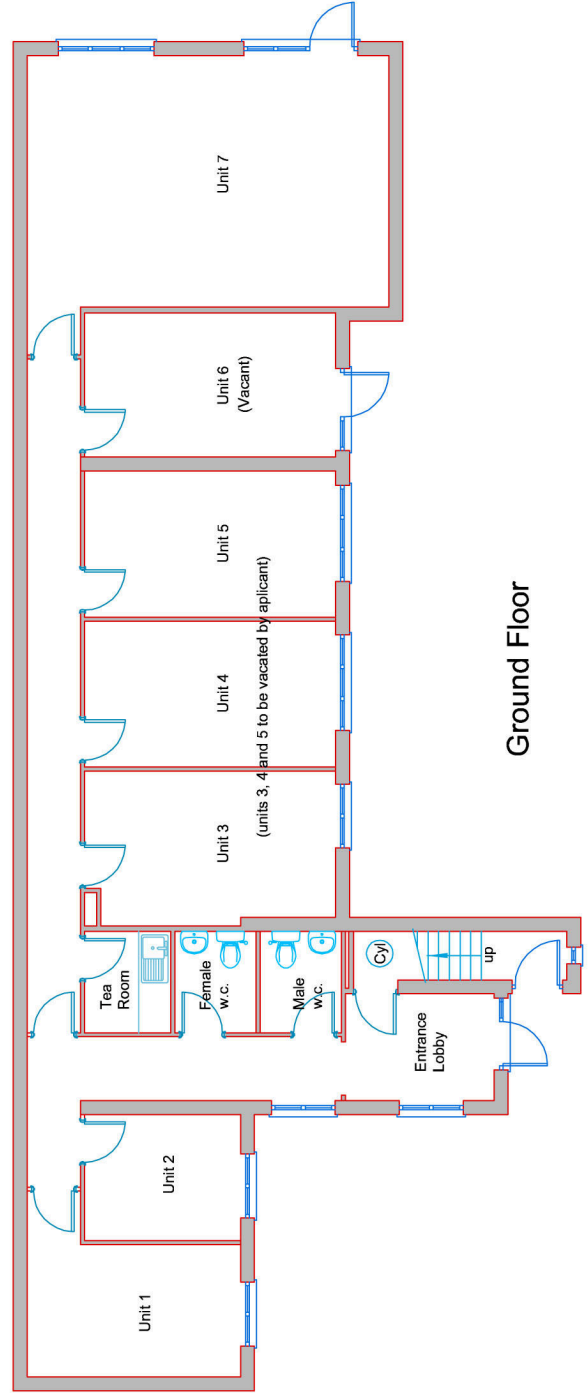
**Notes:**

**ABBREVIATIONS:**

- BL - Beam Undergrade Level
- CL - Ceiling Level
- FA - Floor to Arch Height (Highest Point)
- FAC - Floor to Air Conditioning Unit Height
- FB - Floor to Beam Height
- FC - Floor to Structural Ceiling Height
- FD - Floor to Duct Height
- FE - Floor to Head Height
- FS - Floor to Sill Height
- FSC - Floor to Suspended Ceiling Height
- RFL - Raised Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height

**KEY:**

- Radiator
- All Arrows Point Up, Unless Otherwise Stated



D	31/08/2011	Amended address
C	17/09/2011	Planning issue
B	17/09/2011	Asd notes
A	07/08/2011	Draft proposals

**Gotzheim Associates**  
Chartered Building Surveyor

**Gotzheim Associates**  
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Tel: 01895 831111 Fax: 01895 831112  
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www.gotzheim.co.uk

Client		Panstar Group Ltd	
Address		Panstar House, Swakeleys Road, Uxbridge, UB10 8DF	
Project No.		Proposed Change of Use from B1 Office to Residential C1 Use	
Property No.		Existing and First Floor	
Scale	1:100	Issue No.	A3
Issue Date	June 11	Sheet No.	3015 - PL - 3.01
Drawn by		Checked by	D

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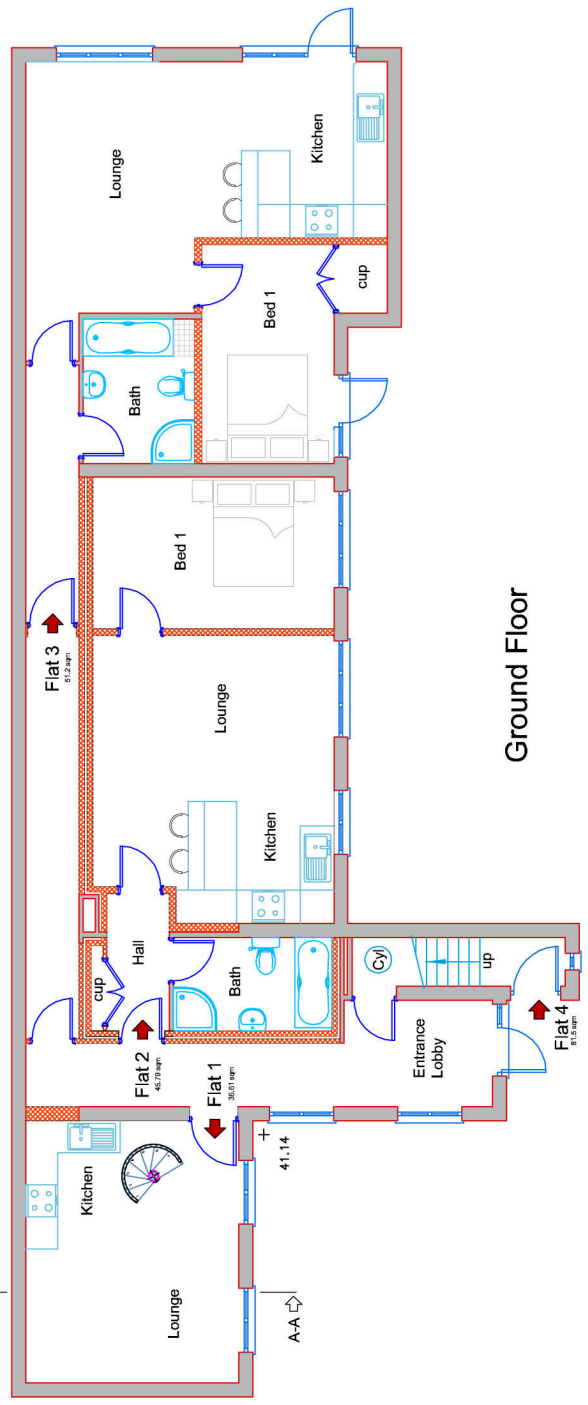
**NOTES:**

**ABBREVIATIONS:**

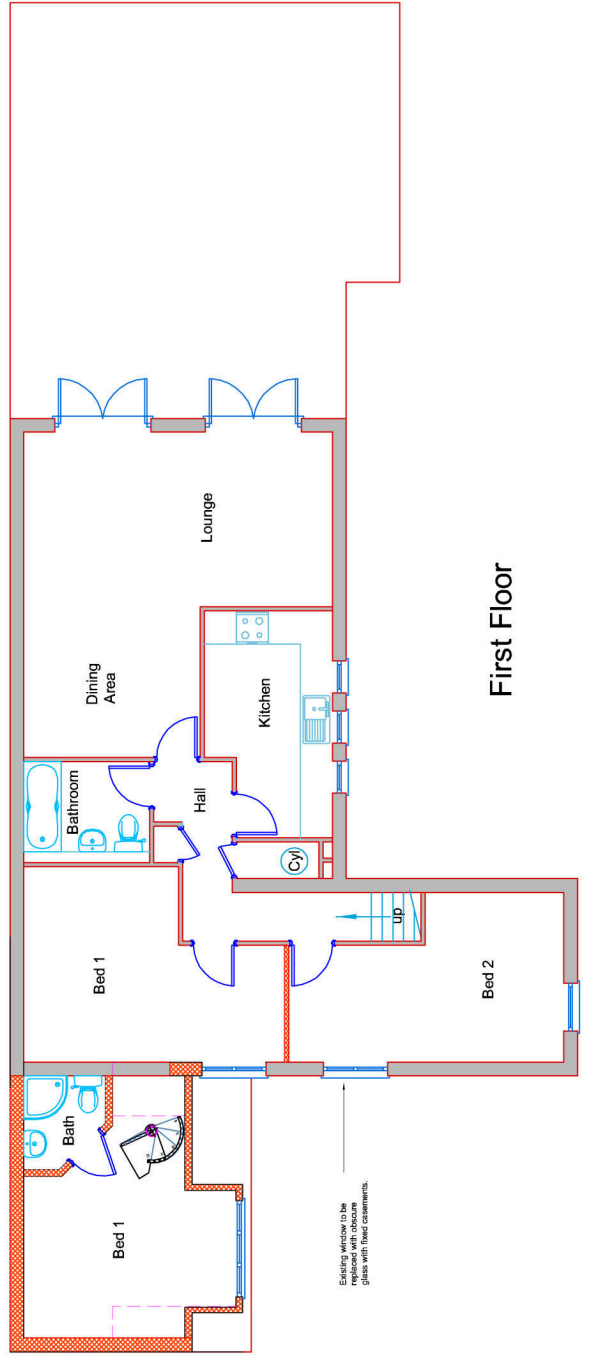
- BL - Beam Underneath Level
- CL - Ceiling Level
- FA - Floor to Arch Height (Highest Point)
- FAC - Floor to Air Conditioning Unit Height
- FB - Floor to Beam Height
- FC - Floor to Structural Ceiling Height
- FD - Floor to Duct Height
- FE - Floor to Eave Height
- FF - Floor to Head Height
- FH - Floor to Head Height
- FS - Floor to Sill Height
- FSC - Floor to Suspended Ceiling Height
- RFL - Raised Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height

**KEY:**

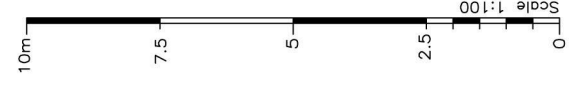
- Red Arrow - Red Arrow Point Up Unless Otherwise Stated
- Black Arrow - Black Arrow Point Up Unless Otherwise Stated



**Ground Floor**



**First Floor**



F	31/08/2011	Amend address
E	17/08/2011	Planning issue
D	26/07/2011	Review layout Part 1
C	18/07/2011	Review layout Part 1
B	14/07/2011	Review layout Part 1
A	07/06/2011	Draft proposals

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Chartered Building Surveyor

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Tel: 01494 470000 Fax: 01494 470001  
E: j.gotzheim@gotzheim.co.uk  
www.gotzheim.co.uk

Client: <b>Pansstar Group Ltd</b>	
Address: <b>Pansstar House, Swakeleys Road, Uxbridge, UB10 8DF</b>	
Project: <b>Proposed Change of Use from B1 Office to Residential C1 Use</b>	
Property: <b>Proposed Ground and First Floor</b>	
Date: <b>1:100</b>	Issue: <b>A3</b>
Drawn by: <b>3015 - PL - 3.02</b>	Scale: <b>June 11</b>
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**ABBREVIATIONS:**

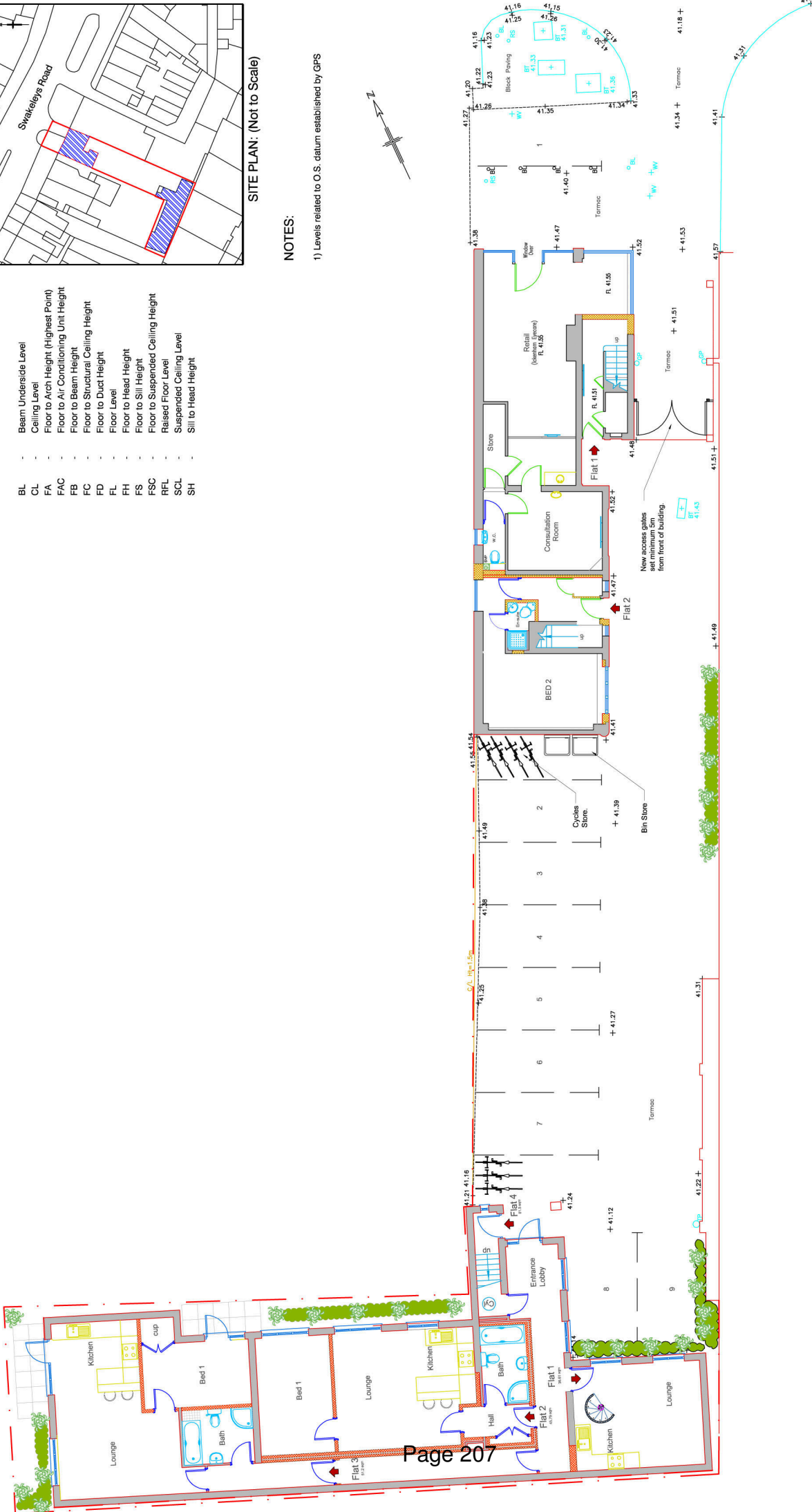
- BL - Beam Underside Level
- CL - Ceiling Level
- FA - Floor to Arch Height (Highest Point)
- FAC - Floor to Air Conditioning Unit Height
- FB - Floor to Beam Height
- FC - Floor to Structural Ceiling Height
- FD - Floor to Duct Height
- FL - Floor Level
- FH - Floor to Head Height
- FS - Floor to Sill Height
- FSC - Floor to Suspended Ceiling Height
- RFL - Raised Floor Level
- SCL - Suspended Ceiling Level
- SH - Sill to Head Height



**SITE PLAN: (Not to Scale)**

**NOTES:**

- 1) Levels related to O.S. datum established by GPS



<b>Rev.</b>	<b>Date</b>	<b>Description</b>	<b>Drawn</b>
B	28/07/2011	Revised details and add notes	DMH
A	01/07/2011	Drawn	DMH

17/08/2011 Planning Issues  
11 Dean Farm Lane, Southbury, Leighton Buzzard, Beds, LU7 4DE  
01525 59399 F 01525 57093 M 07987 78879  
www.gotzheimassociates.co.uk

**Gotzheim Associates**  
Chartered Building Surveyor

---

<b>Client:</b> Panstar Group Ltd	<b>Drawing Title:</b> Site Plan	<b>Scale:</b> 1:100	<b>Date:</b> June 11
<b>Address:</b> Panstar House, 13-15 Swakeleys House, Uxbridge, UB10 8DF	<b>Project No.:</b> 3015 - PL - 1.03	<b>Sheet No.:</b> B	<b>Revision:</b>
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RECS

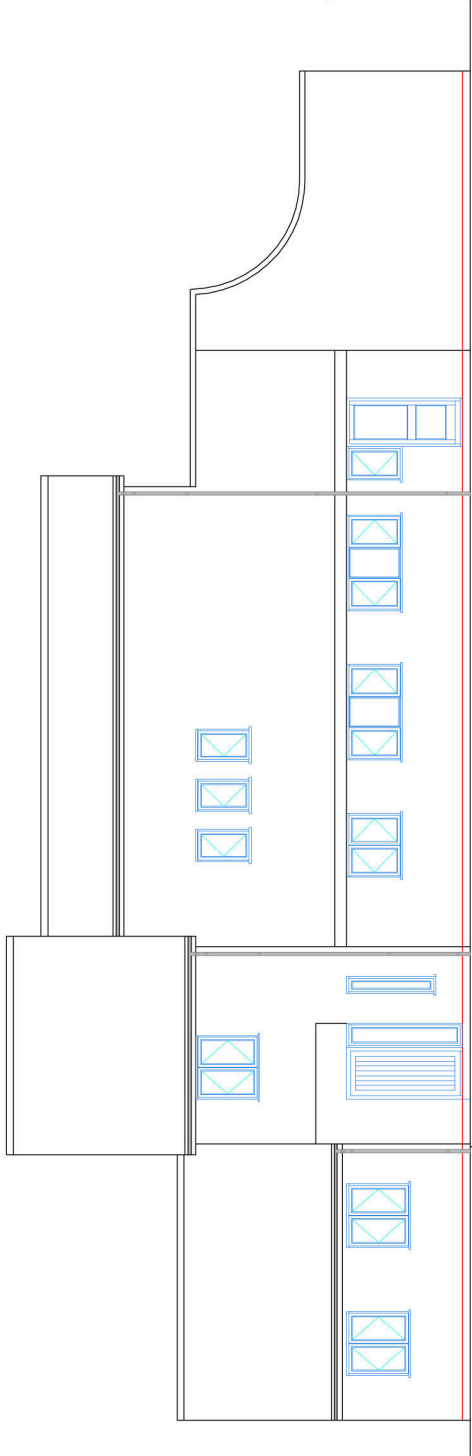






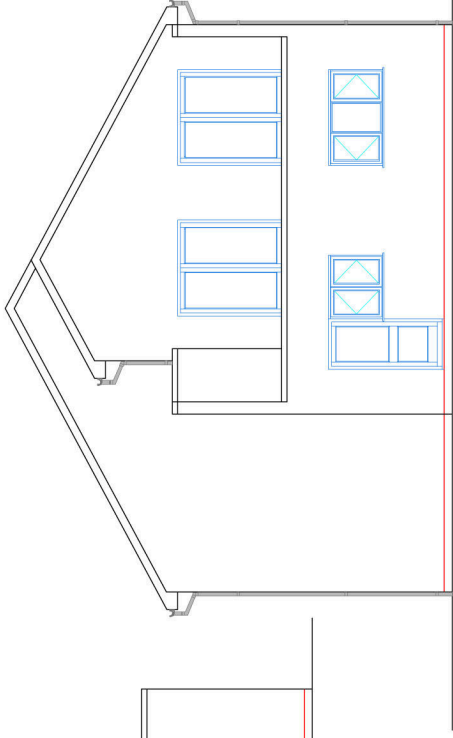
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**Notes**



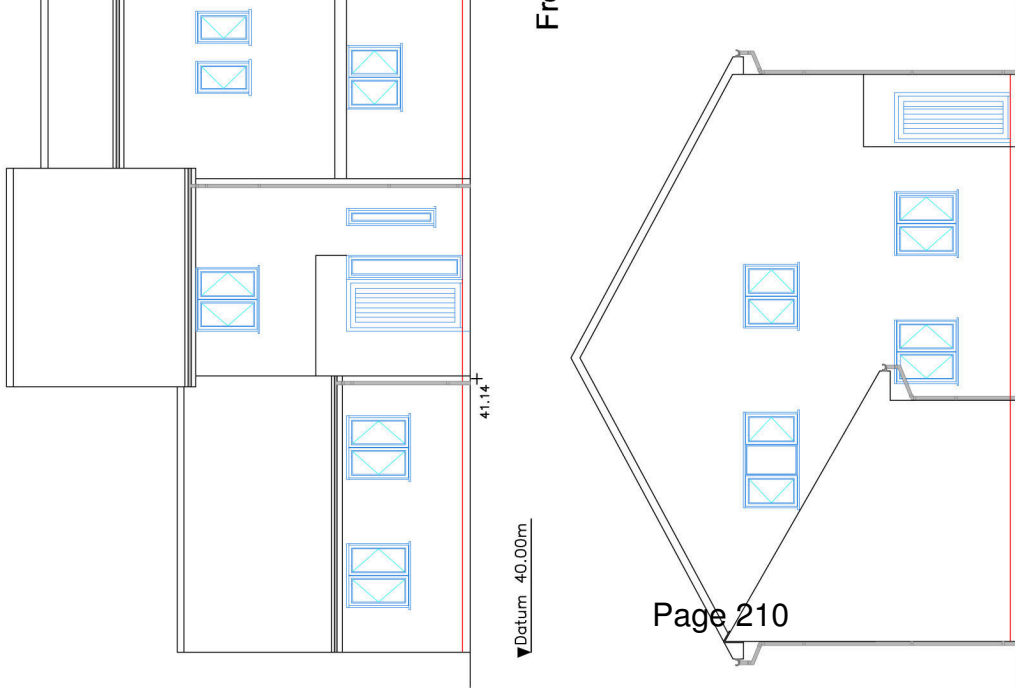
Front Elevation

▼Datum 40.00m



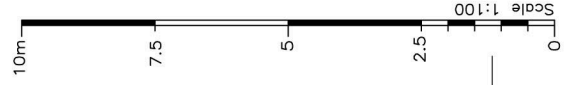
Side Elevation

▼Datum 40.00m



Side Elevation

▼Datum 40.00m



Rear Elevation

▼Datum 40.00m

C	31/08/2011	Amend address
B	17/08/2011	Planning issues
A	01/07/2011	Date proposals

**Gotzheim Associates**  
Chartered Building Surveyor

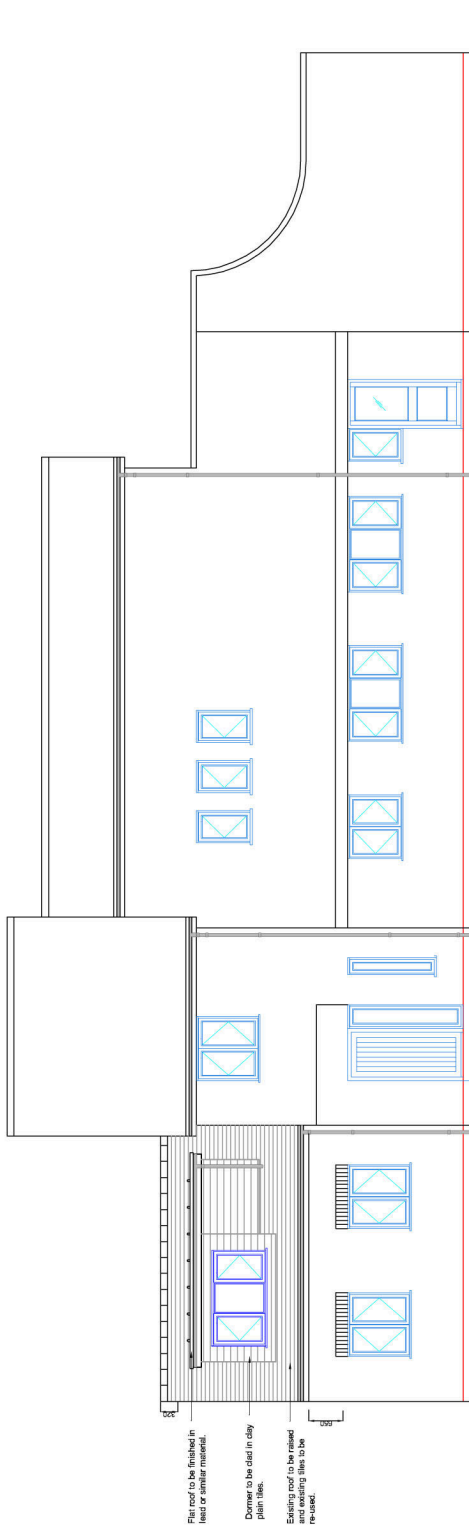
Jonathan Gotzheim, BA (Hons),  
11, Sherburn Lane, Ashbury, Leighton Buzzard, LU2 8BE  
Tel: 01494 471100 Fax: 01494 471101  
E: j.gotzheim@gotzheim.co.uk  
www.gotzheim.co.uk

<b>Panssar Group Ltd</b>	
Panssar House, Swakeleys Road, Uxbridge, UB10 8DF	
Project No: Proposed Change of Use from B1 Office to Residential C1 Use	
Priority: Existing Elevations	
Date:	1:100
Drawn by:	A3
Check:	June 11
Drawn by:	3015 - PL - 3.03
Scale:	C

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**Notes**

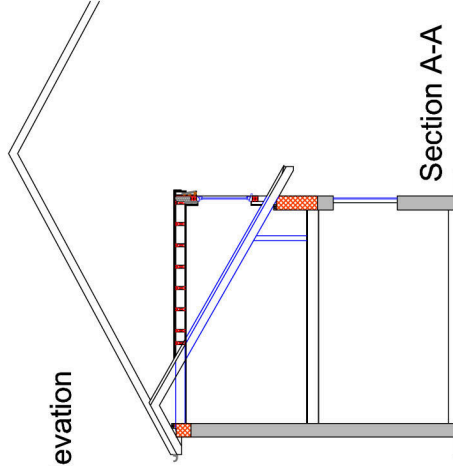


Flat roof to be finished in lead or similar material.  
 Dormer to be clad in clay plain tiles.  
 Existing roof to be raised and existing tiles to be re-used.

▼Datum 40.00m

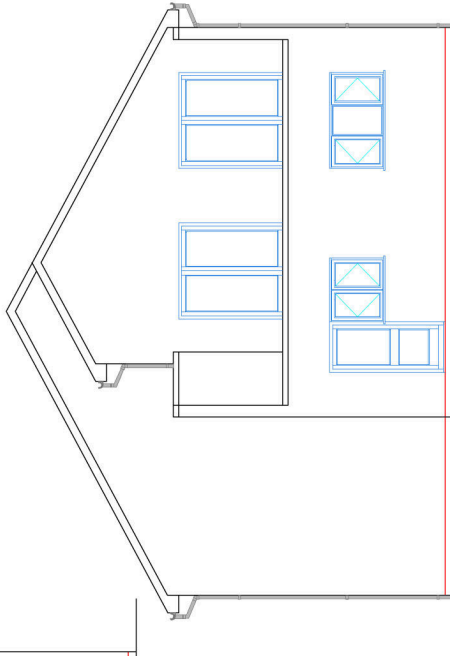
41.14

**Front Elevation**



Existing window to be replaced with obscure glass with fixed shutters.

**Section A-A**



▼Datum 40.00m

**Side Elevation**

F	31/08/2011	Approved address, add notes/A.A
E	17/08/2011	Planning issue
D	26/07/2011	ASD notes
C	18/07/2011	Revised elevations list 1
B	14/07/2011	Revised elevations list 1
A	07/06/2011	Draft proposals

**Gotzheim Associates**  
 Chartered Building Surveyor

**Gotzheim Associates**  
 Chartered Building Surveyor

Jonathan Gotzheim - Chartered Building Surveyor  
 11, Sherburn Lane, Ashbury, Leighton Buzzard, Luton LU2 8BE  
 Tel: 01525 231111 Fax: 01525 231112  
 E: j.gotzheim@gotzheim.co.uk  
 www.gotzheim.co.uk

**Panssar Group Ltd**  
 Panssar House, Swakeleys Road,  
 Uxbridge, UB10 8DF

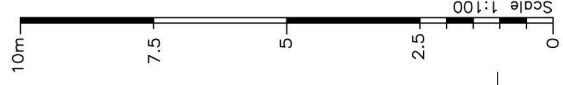
Project No: Proposed Change of Use from B1 Office to Residential C1 Use

Drawn by: Proposed Elevations



▼Datum 40.00m

**Side Elevation**

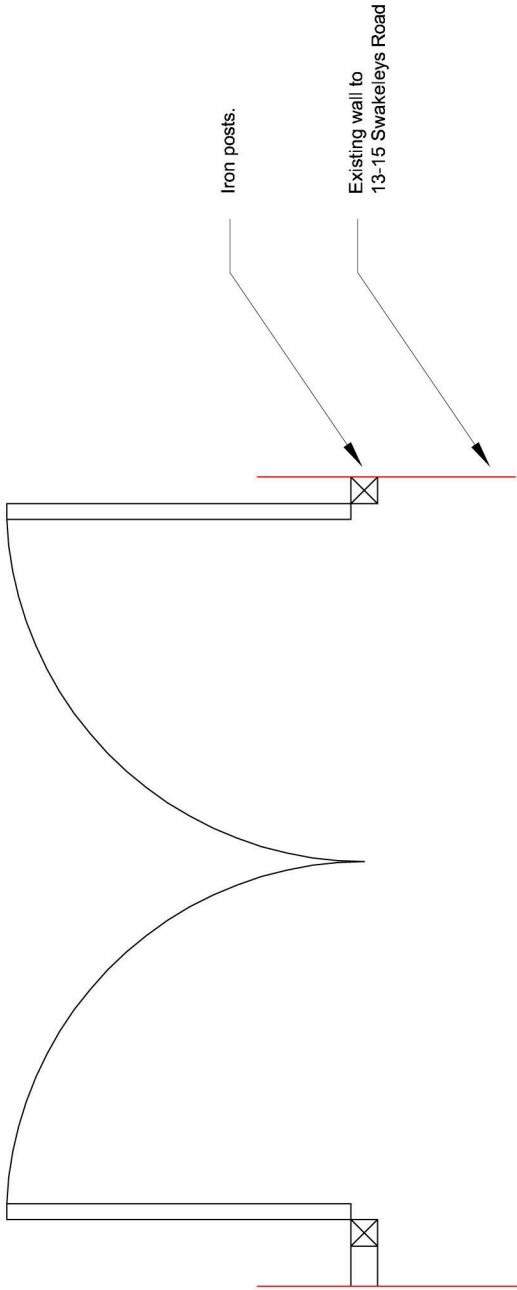


▼Datum 40.00m

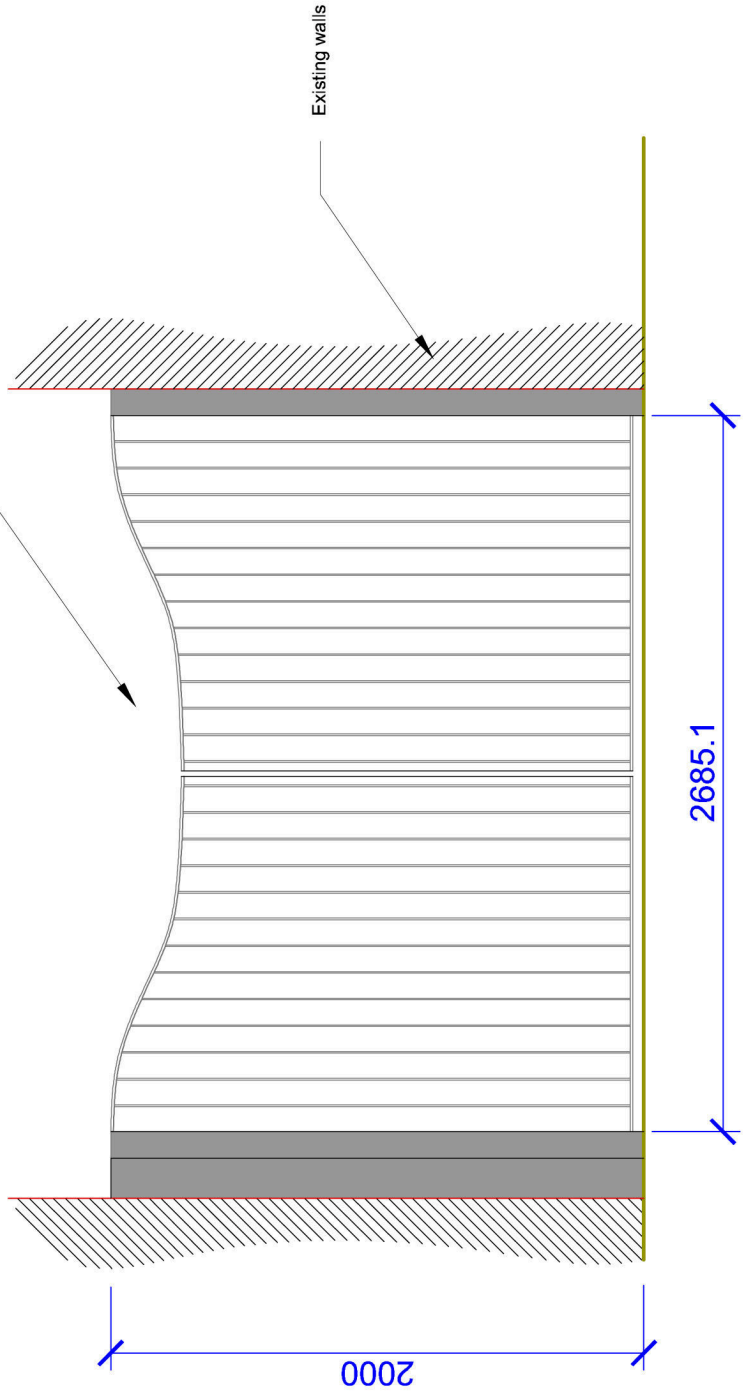
**Rear Elevation**

All dimensions are in millimeters unless otherwise stated. The contractor must verify all dimensions on site before the construction commences. The contractor must notify the Surveyor must be notified of any suspected discrepancies or omissions. Any scaled dimensions to be confirmed by the surveyor.

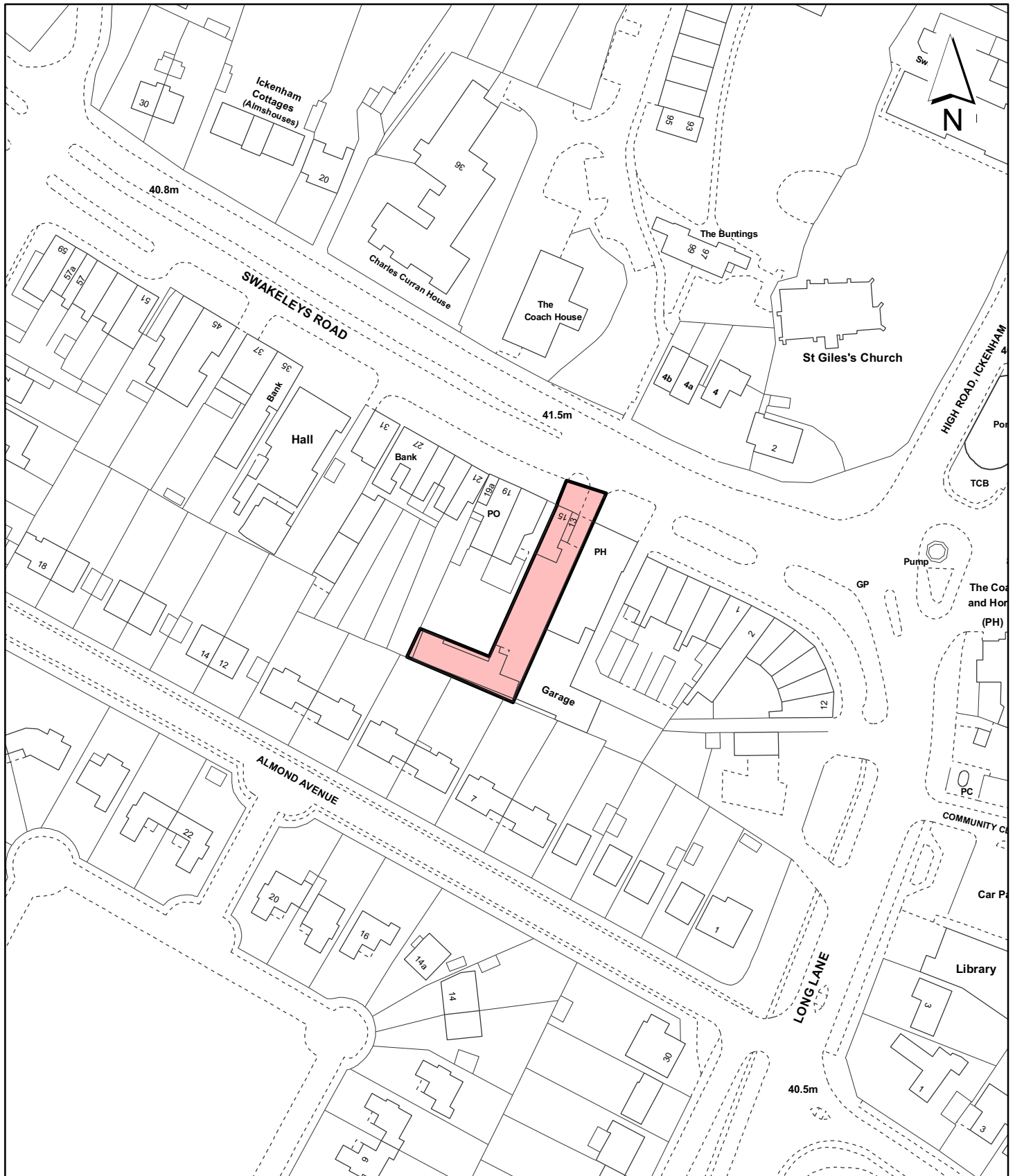
**Notes:**



Wrought Iron style gates hinged on iron posts.



No. A		Scale	1:20	Form No.	A3	Date	AUG 11
Date		31/08/2011	Drawing Issue				
<b>Gotzheim Associates</b> Chartered Building Surveyor							
Jonathan Gotzheim, Chartered Building Surveyor 11, Shaw Farm Lane, Ashbury, Uxbridge, Middlesex, Ux4 8BE Tel: 01895 831111 Fax: 01895 831112 E: j.gotzheim@gotzheim.co.uk www.gotzheim.co.uk							
<b>Gotzheim Associates</b> Chartered Building Surveyor							
<b>Panssar Group Ltd</b>							
Panssar House, Swakeleys Road, Uxbridge, UB10 8DF							
Project No: Proposed Change of Use from B1 Office to Residential C1 Use							
Drawn by: Proposed Entrance Gates - Elevations and Details							
Scale: 1:20 Form No: A3 Date: AUG 11							
Drawing No: 3015 - PL - 3.05 Rev: A							
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GJ HAS							



**Notes**

 Site boundary

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Site Address

**13 Swakeleys Road  
Ickenham**

Planning Application Ref:  
**19121/APP/2011/2066**

Planning Committee  
**North** Page 213

Scale  
**1:1,250**

Date  
**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



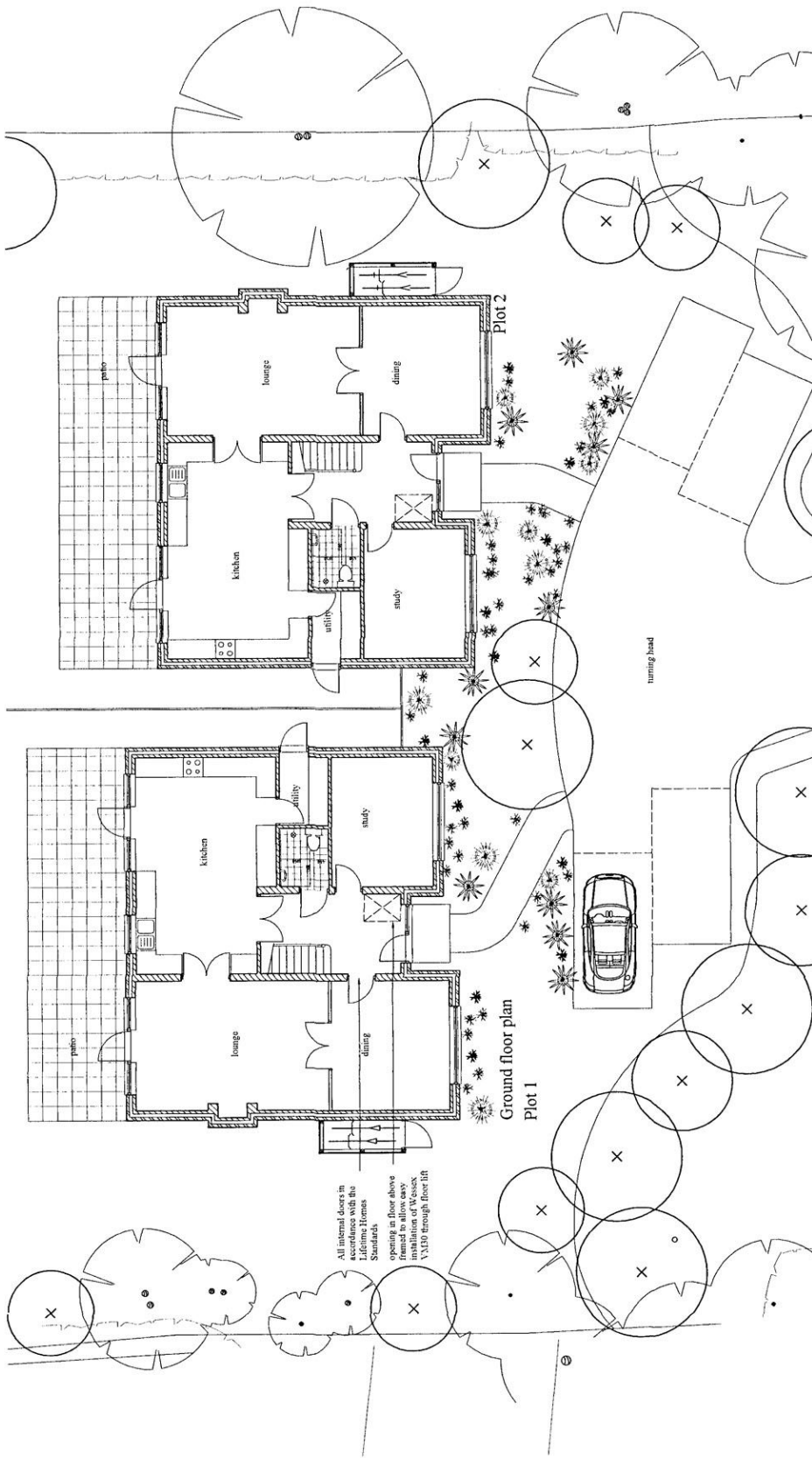
**HILLINGDON**  
LONDON

## **Report of the Head of Planning & Enforcement Services**

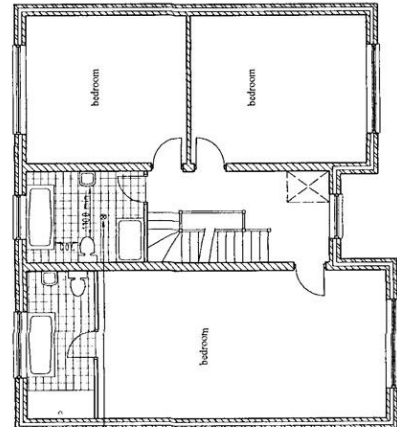
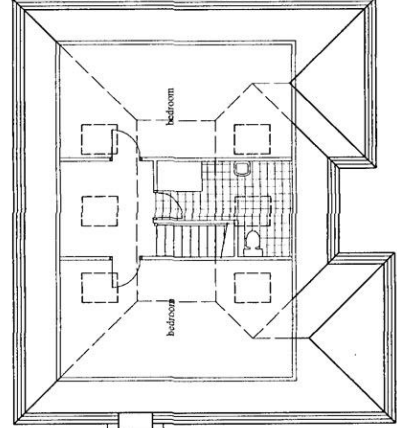
**Address** LAND TO REAR OF 51 AND 53 PEMBROKE ROAD RUISLIP  
**Development:** Erection of 2 five-bedroom, two storey detached dwellings with habitable roofspace, associated parking and amenity space  
**LBH Ref Nos:** 66982/APP/2011/2221

**Date Plans Received:** 12/09/2011                      **Date(s) of Amendment(s):**  
**Date Application Valid:** 22/09/2011





12 SEP 2011  
 LON BORO OF HILDESDORF  
 RECEIVED  
 PLANNING & DESIGN DIVISION  
 GROUP



1:100  
0m 1 2 3 4 5 6 7 8m

C Layouts and elevations revised.  
 B Access road and parking revised.  
 A First & second floor plans handed.

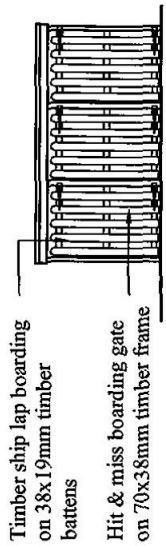
22/08/11  
 04/07/11  
 20/05/10

ABA Chartered Surveyors  
 49 The Green, Southall UB2 4AR  
 email:aba@nls.co.uk  
 Tel: 020 8574 3535

scale	1:100 @A2	title	Two detached houses
date	06/03/10	dr'g no	1012-pl-02
rev	C	site	Land rear of 51-53 Pembroke Road, Ruislip

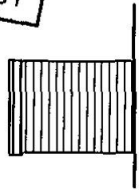


Bin store containing:  
 5no. 70 litre rubbish per house,  
 4no. 70 litre recycling per house,  
 3 reusable garden waste bags per house,  
 for collection by local authority.

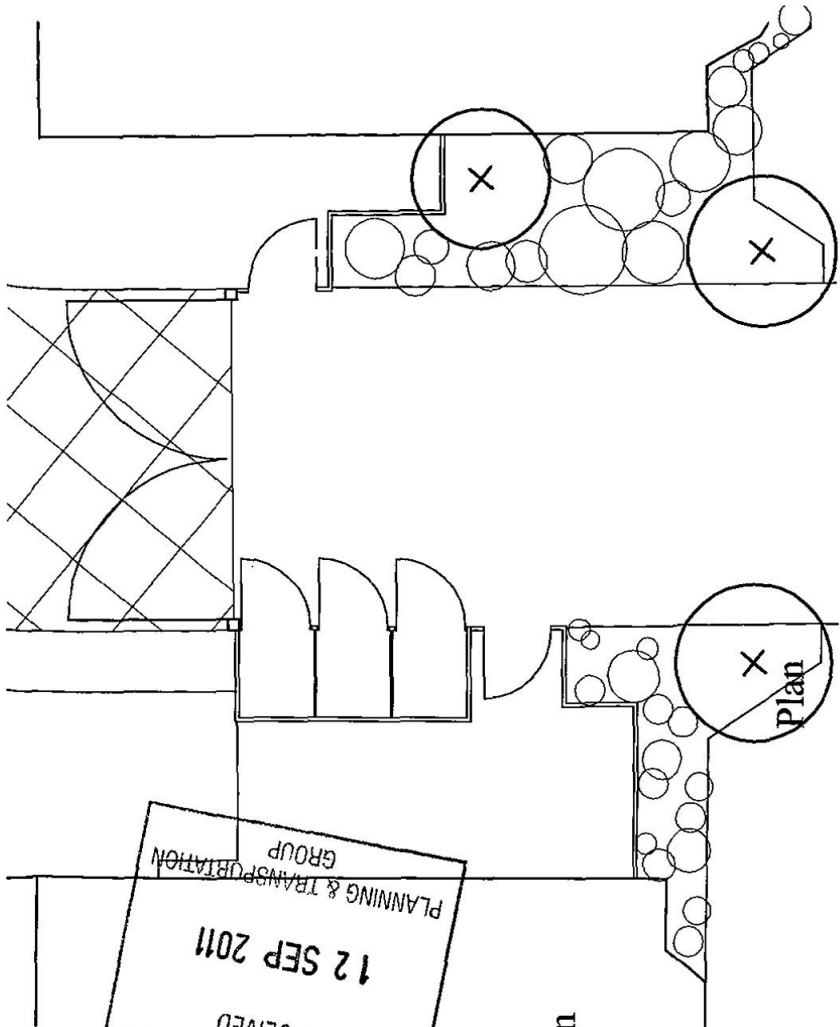


Front elevation

Bin store  
 1:100



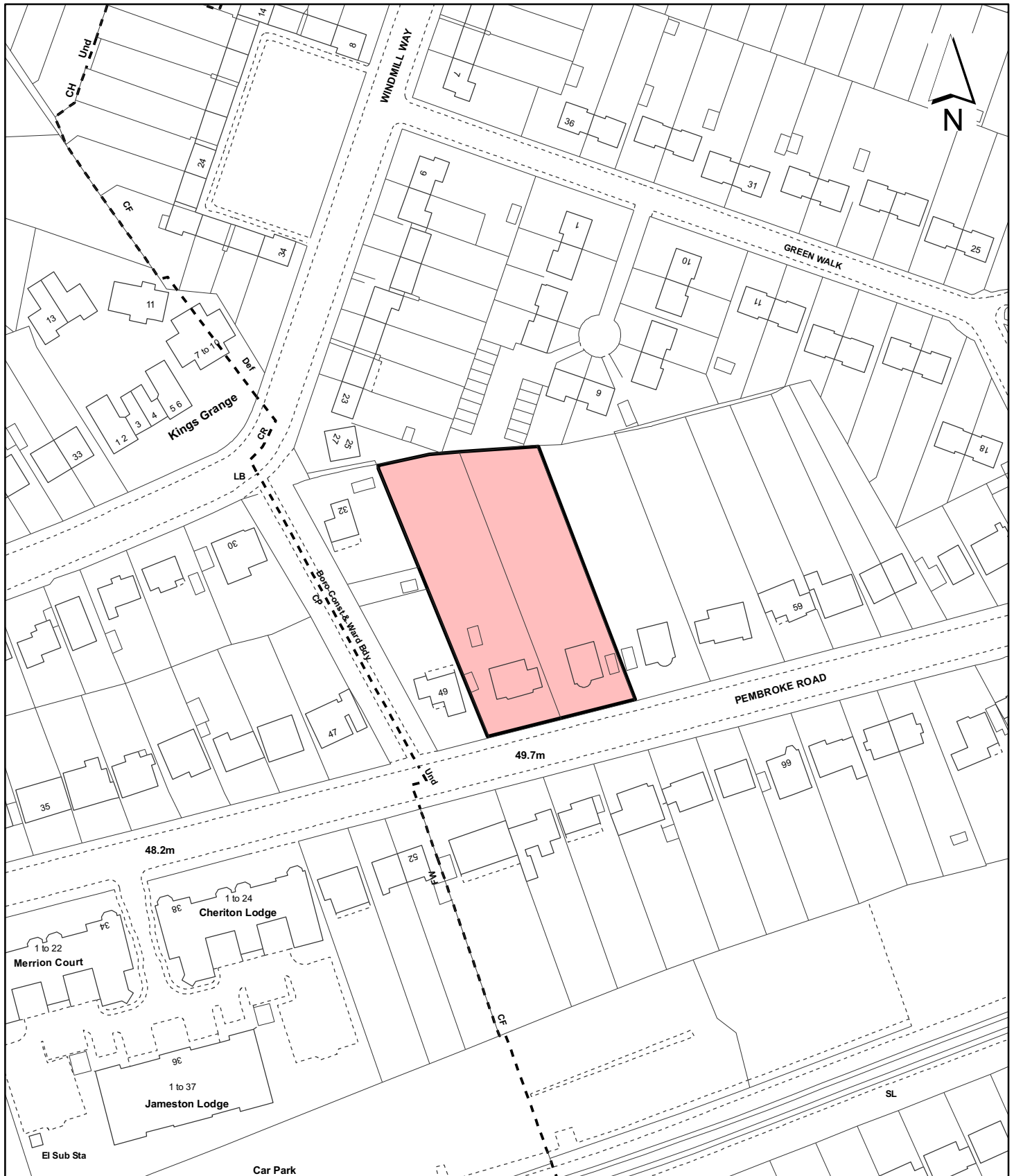
Side elevation



1:100



Revision:	A	Bin store revised.	22/08/11
ABA Chartered Surveyors 49 The Green, Southall UB2 4AR email:aba@anjla.co.uk Tel: 020 8574 3535		title Bin store.	
scale	1:100 @A4	date 06/03/10	
drwg no	1012-pl-03	rev	A
site Land rear of 51-53 Pembroke Road, Ruislip			



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Land to the rear of  
51 and 53 Pembroke Road,  
Ruislip**

Planning Application Ref:  
**66982/APP/2011/2221**

Planning Committee  
**North** Page 218

Scale  
**1:1,250**

Date  
**November  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services  
Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

**Report of the Head of Planning & Enforcement Services**

**Address** 5 POPLARS CLOSE RUISLIP  
**Development:** Single storey side/rear extension.  
**LBH Ref Nos:** 61775/APP/2011/1204

**Date Plans Received:** 19/05/2011      **Date(s) of Amendment(s):**  
**Date Application Valid:** 01/06/2011

Atty to Ms. Charlotte Spencer (Plum Tech) of Hibernian Team Ref: G1775 11/11/2011/1204.

Amended Plan of 29/05/2011.

CLIENT: MR. VASIL SHAIKH,  
5 POPLARS CLOSE,  
RUISLIP,  
HARROW,  
HA4 7BU

TITLE: EXISTING ALL PLANS

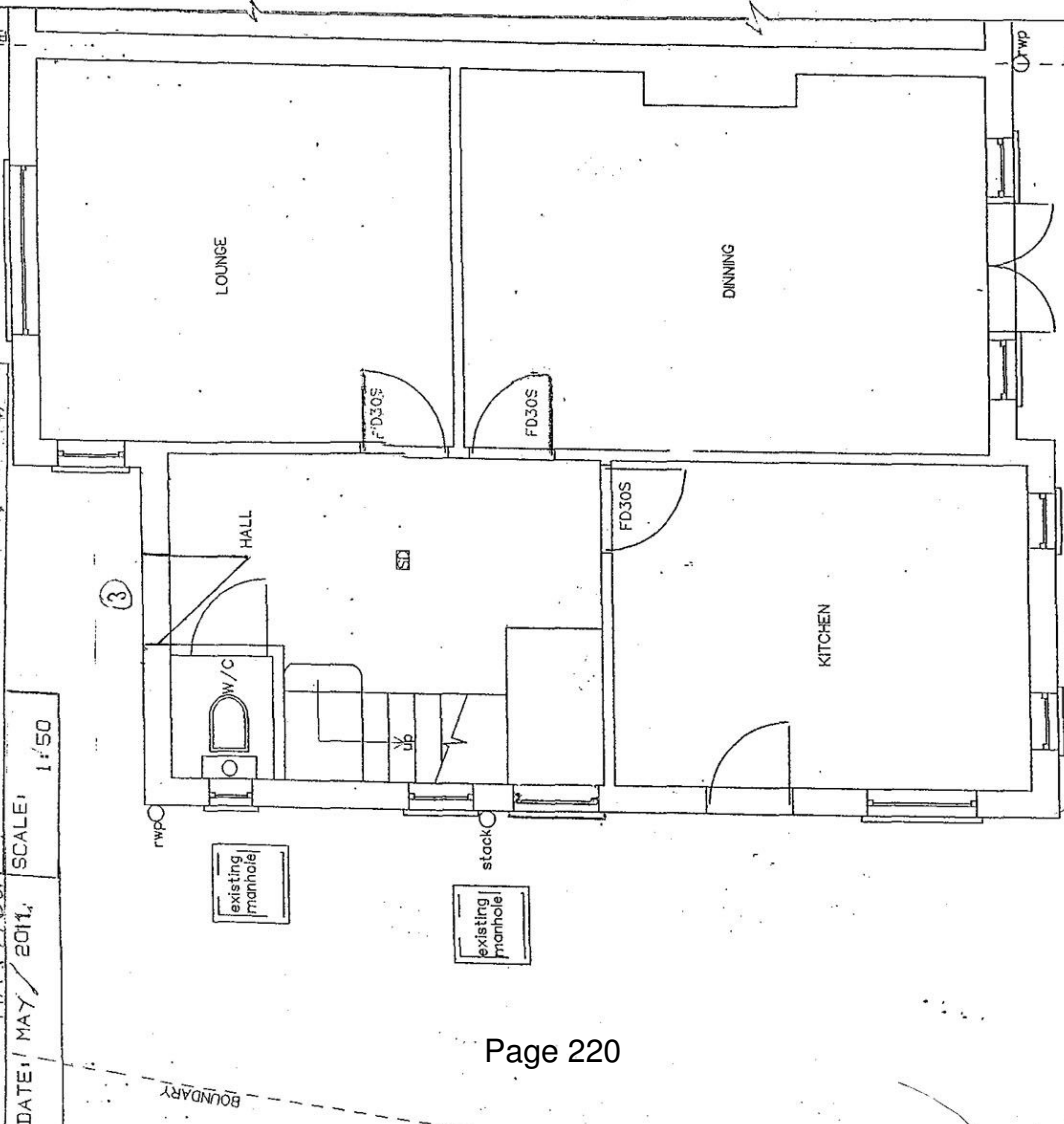
Sheet #:- S-1, of S-6 FRONT

DRAWING NO: 0634, Rev: 1/A.

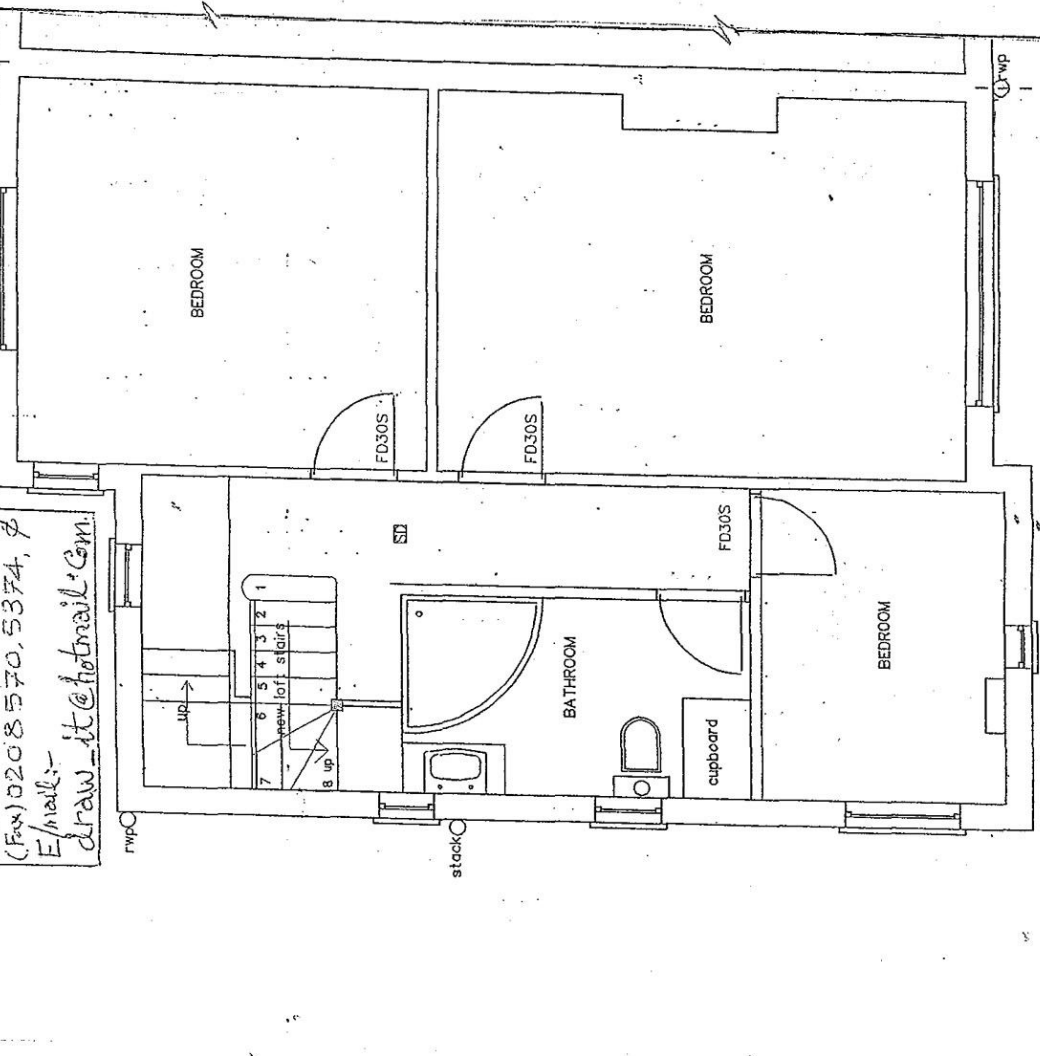
DATE: MAY 2011, SCALE: 1:50

PROJECT: PROPOSED SINGLE STOREY AT REAR & SIDE EXTENSION.

Agent: MR. MONEY QADRI,  
(M) 079 49035715 AND  
(F) 0208 570 5374, &  
E/mail:-  
draw-it@hotmail.com.



(1:50). EXISTING GROUND FLOOR PLAN.



(1:50). EXISTING FIRST FLOOR PLAN.

Project: PROPOSED SINGLE STOREY AT SIDE AND, REAR EXTENSIONS.



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Map Information	
Approx. Scale:	1:228
Date of Print:	14.6.2006

CLIENT: MR. VASIL SHAIKH,  
5 POPLAR CLOSE,  
RUISLIP,  
HARROW,  
HA4 7BU

DATE: MAY / 2011

TITLE: EXISTING SITE,  
PLAN & ELEVATIONS.

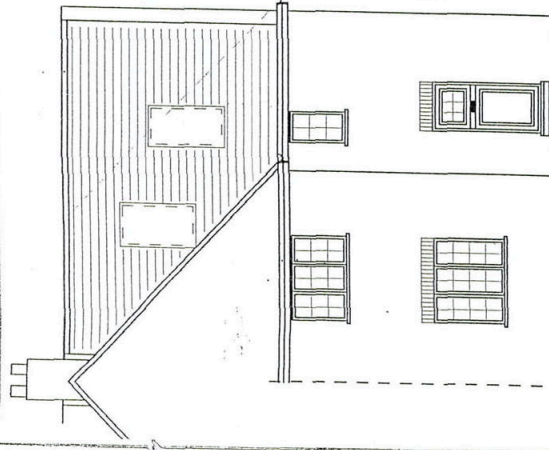
Sheet #:- S-1, of S-6.

DRAWING NO: 0634, Rev:1/A.

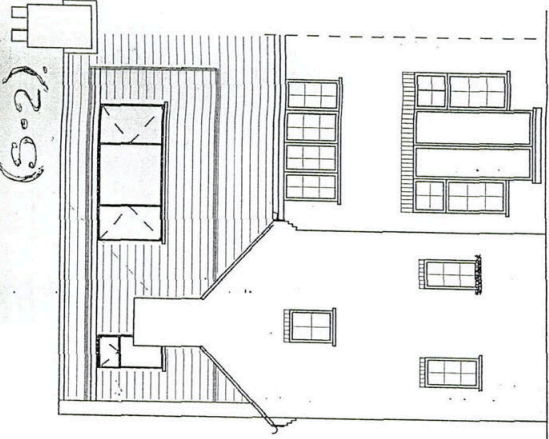
SCALE: 1:100

Legend	
5 POPLARS CLOSE	
RUISLIP	
MIDDLESEX HA4 7BU	

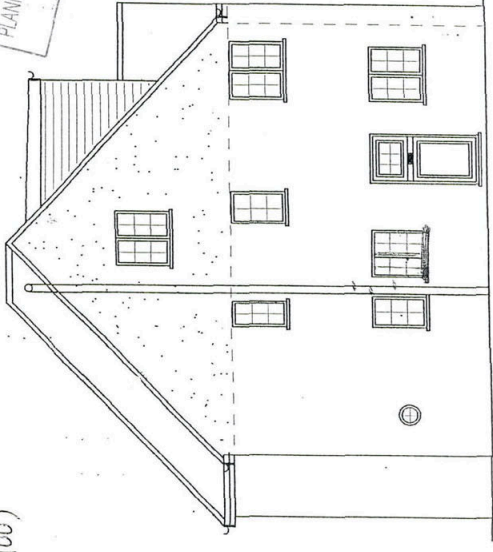
Agent: MR. MONEY QADRI,  
(M) 079 49035715 AND,  
(Fax) 020 8570 5374, &  
E/mail:-  
draw\_it@hotmail.com.



EXISTING FRONT ELEVATION  
(1:100)



EXISTING REAR ELEVATION  
(1:100)



EXISTING SIDE ELEVATION  
(1:100)

LONDON BOARD OF HILLINGDON  
RECEIVED  
19 MAY 2011  
PLANNING & TRANSPORTATION  
GROUP

MR. VASIL SHAIKH,  
 15, POPLARS CLOSE,  
 RUISLIP,  
 HARROW,  
 HA4 7BU

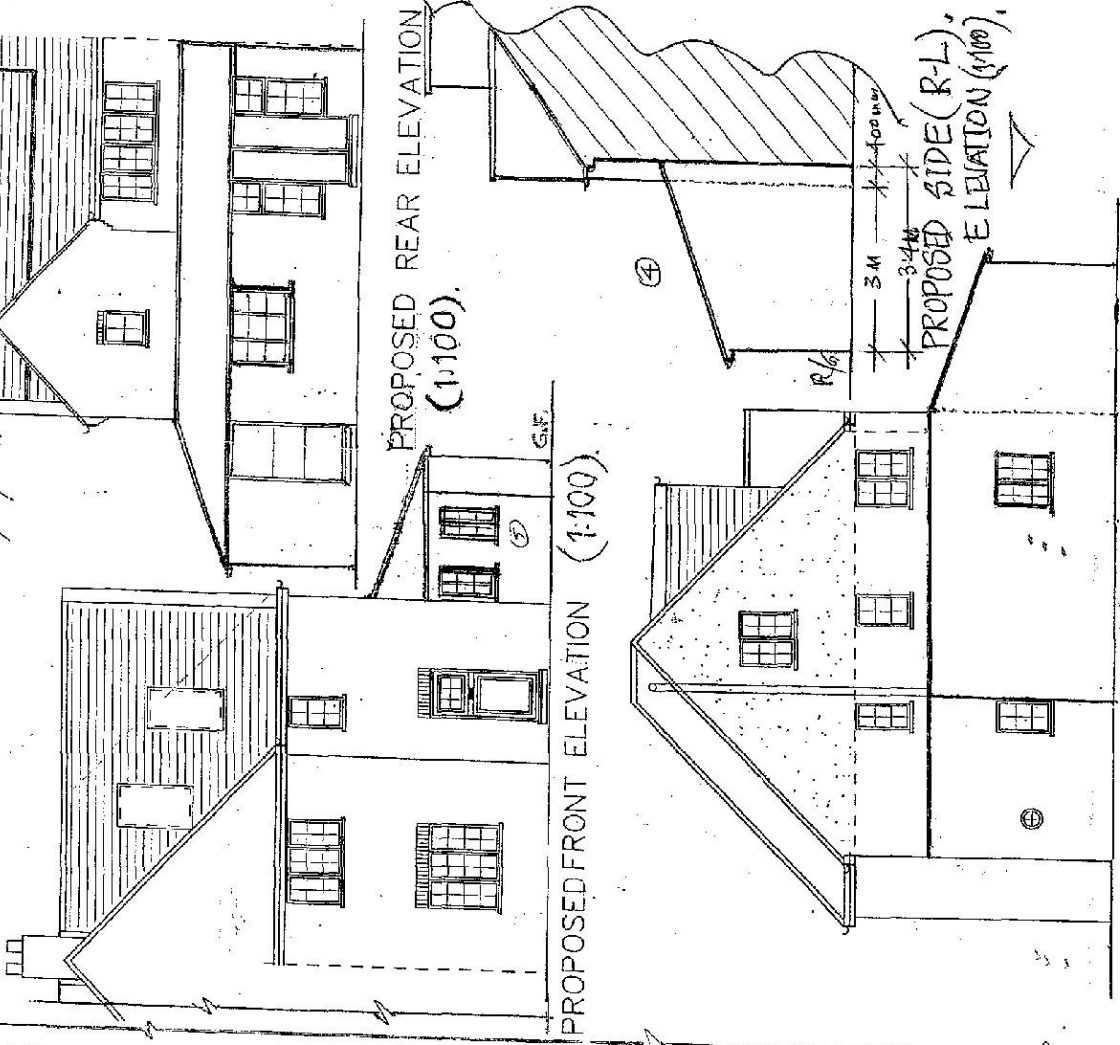
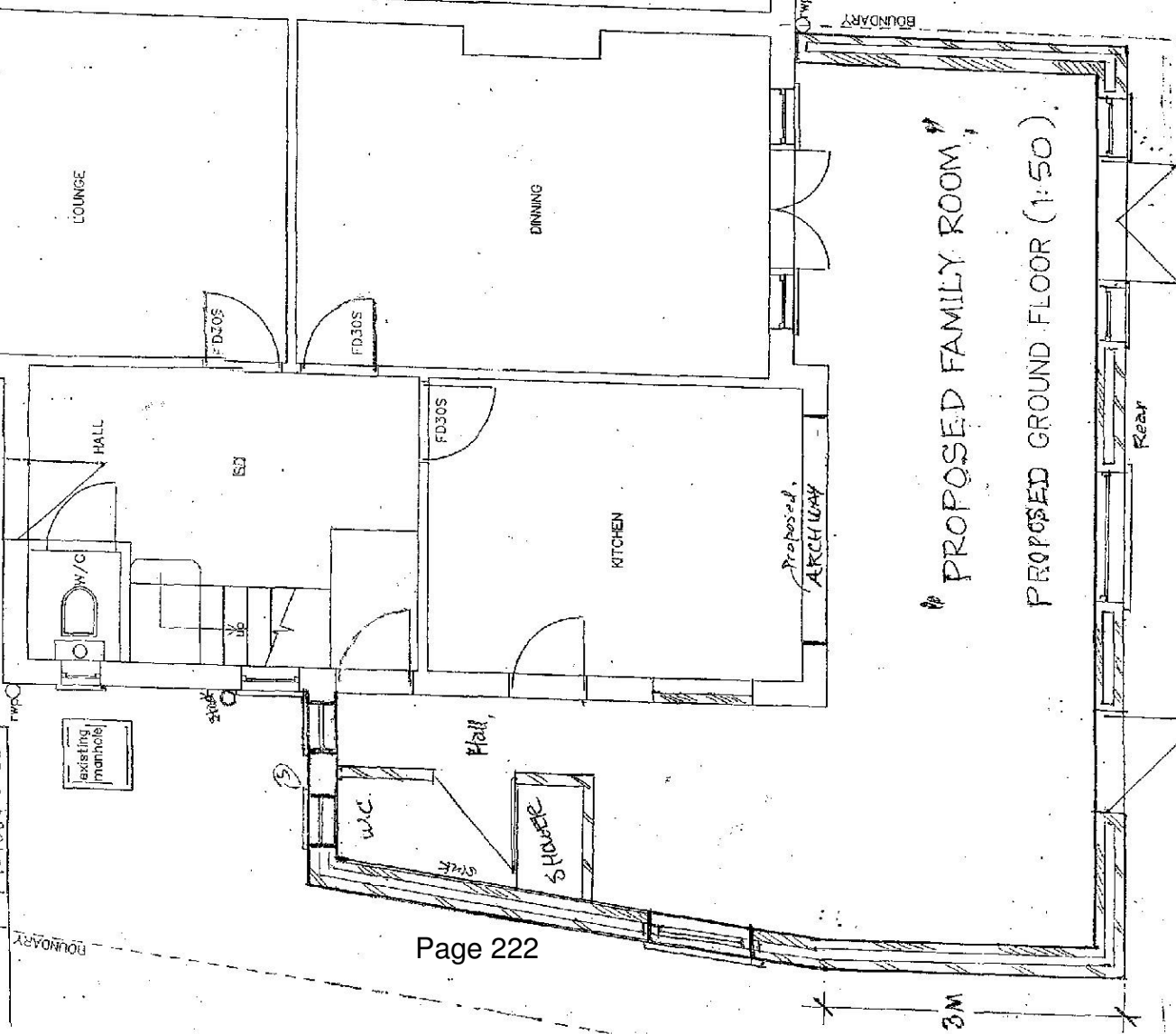
TITLE PROPOSED ALL,  
 PLAN & ELEVATIONS.  
 Sheet # - 53, of 5-6.  
 DRAWING NO: 0634, Rev: 1/A.

SCALE:  
 1:100 & 1:50

FRONT  
 "Assembled Plan & Elevations"

Agents: MR. MONEY QADRI,  
 (M) 079 49035735 AND  
 (FAX) 020 8570 5374, \$  
 E/MAIL -  
 draw\_it@hotmail.com, dated 29/05/2011.

Agents: Mrs. Charlotte Spencer (Money Rush) (S3)  
 of Hillier Gates Team  
 Ref: 41775/10/2011/2004.



(L-R) PROPOSED SIDE ELEVATION (1:100)  
 \*Project: SINGLE STOREY AT SIDE AND - 99  
 - AT REAR EXTENSION.

(3.4)

NOTES

All dimensions to be checked on site and not to be scaled from drawings. All finishing materials to match existing. The contractor to ensure the works are inspected and completed to the satisfaction of L.A. These drawings has been produced for planning purposes only. Compliance with Building Regulation is not to be assumed. Appropriate Party Wall Notice under the PARTY WALL 1996 ACT must be served on adjoining owners prior to commencement of the building works.

Agents:- MR. MONEY QADRI, (M) 07949035715, (F) 02085705374 (only) and e/mail, draw\_it@hotmail.com

PLANNING & TRANSFORMATION PROJECT UP SINGLE STOREY REAR & SIDE EXTENSION. 19 MAY 2011

Project Address 5, POPLAR CLOSE, RUISLIP, HA4 7BU.

Drawing Title 1st/PROPOSED/ELE/PLAN.

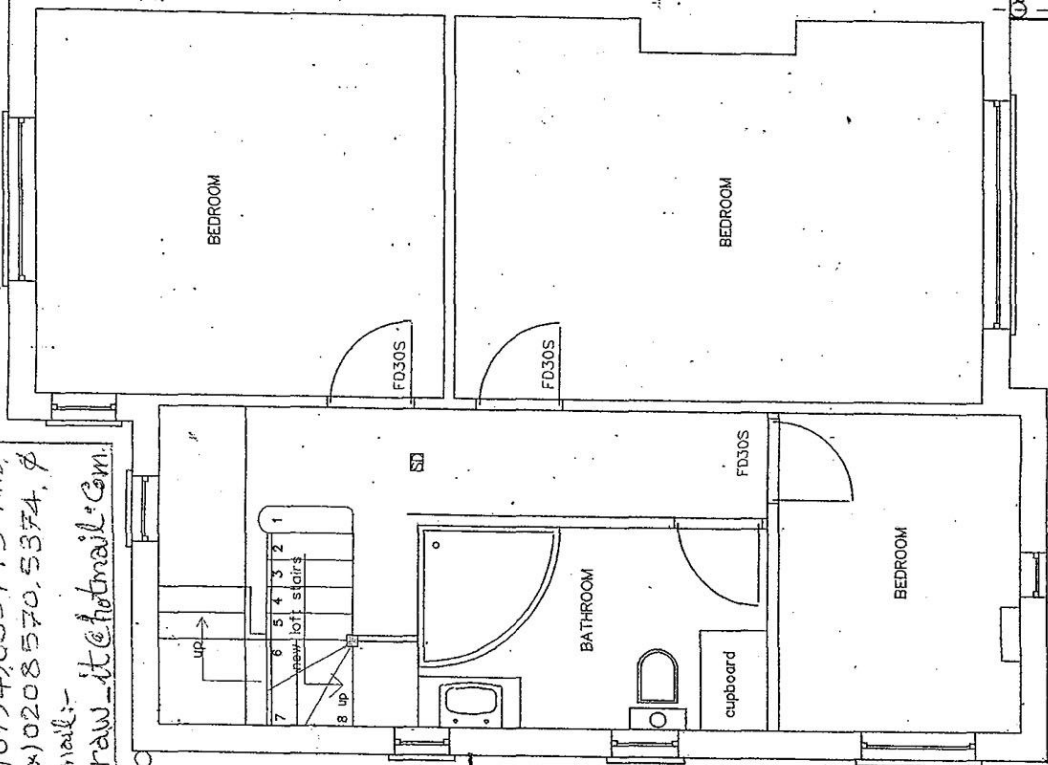
Date 15th MAY / 2011.

Dwg No. 0634, Rev. 1/A.

Scale 1:50

Sheet # 3.4 of 5.6.

Agent MR. MONEY QADRI, (M) 07949035715 AND, (F) 02085705374, & E/mail:- draw\_it@hotmail.com.



Proposed Tiles Roof.

(1.50). PROPOSED FIRST FLOOR

Rear.

ADD: CLIENT: MR. VASIL. SHAIKH, 5 POPLAR CLOSE, RUISLIP, HARROW, HA4 7BU	DATE: MAY / 2011, SCALE: 1:50
TITLE: 1st/PROPOSED AT #1	
FIRST/FLOOR PLAN	
Sheet #: 3.4 of 5.6.	
DRAWING NO: 0634, Rev: 1/A.	

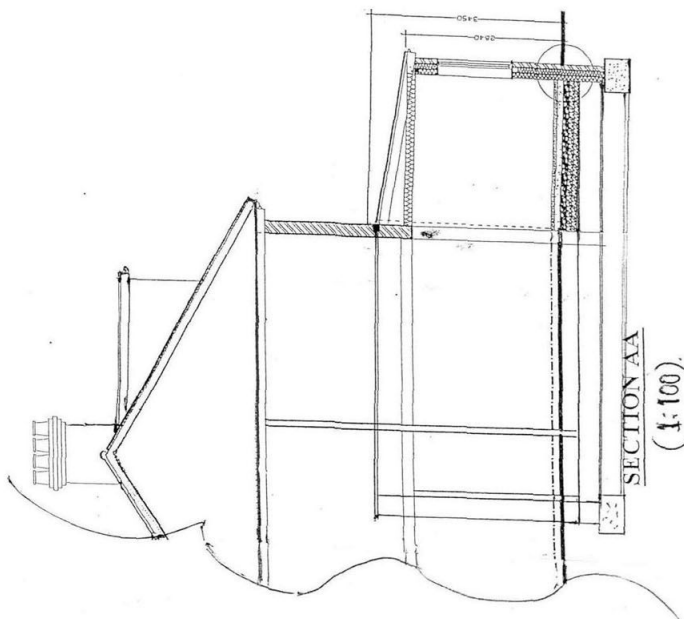
**SPECIFICATION**

- This drawing is to be read in conjunction with: Specifications, manufacturer's product information and Bills of quantities if issued
- The contractor is to check & verify all figured dimensions prior to commencement of works, any discrepancies notify the designer
- Structural steel designed to BS 5950, Part 1, 2000 steel beams to be coated with a fire retardant intumescent paint, applied to provide a minimum of 1/2 hour fire protection.
- Stairs: Clear headroom from landing/pitch line to be 2m min. Rise 220mm max. Going 220mm max. nosing overhang 16mm min. angle of pitch 42 degrees or less. Tapered treads of equal length on new stairs measured at centre point of step to be not less than goings of straight flight. Handrail on flight to 900mm min. from pitch line also 900mm on landing. Balusters are to be positioned so a 100mm sphere cannot be passed through at any point. NB: Staircase manufacturer to check site dimensions prior to manufacture.
- New plumbing to be installed as per BS 5572 - Code of Practice for Sanitary pipe work. WC pan: 75mm dia. Trap & 50mm dia depth of seal. Wash basin: 32mm & 75mm respectively. Shower: 40mm & 50mm respectively.
- SD denotes mains operated smoke detector, interlinked & have battery back up.
- All dimensions in metres unless otherwise indicated in = metres, & mm = millimetres
- All structural timber to be SC2 grade.
- All roof openings, dormer cheeks, internal stud walls & stairs opening in floor: Rafters & floor joists to be doubled up according to.
- Mineral wool seal to be fixed between all warm and cold roof constructions.
- Electrical Work: All electrical work required to meet the requirements of Part 'P' must be designed, installed, inspected & tested by a competent person. Prior to completion the council should be satisfied the Part 'P' has been complied with. This may require an appropriate BS 7671 electrical certificate to be issued for the work by a competent person.
- All floor & ceiling joists to have solid bridging @ bearing points and mid-span for spans between 2.5 to 4.5m, two rows of bridging equally spaced for spans over 4.5m
- All New Windows: To be designed to achieve a U-value of 1.8 or lower. Each habitable room is to have a window(s) with an opening equivalent to at least 1/20th of the total floor area. In addition provide a 8000 mm2 trickle vent and 4000mm2 to other rooms.
- Escape Roof Window: Velux type GHL - M08 or equivalent (0.78 x 1.4), set in roof @ a max. 1.7 from eaves. Cill height 0.6m min., 1.1m max. Flashing as per manufacturer's details.
- Roof Window - W1: Velux type CGL - M08 (0.78x1.4) centre pivot. Flashing as per manufacturer's details.
- Loft Toilet & Shower: Ventilation: Provide an air extractor capable of 1.5/sec to outside air
- Dormer cheeks & Face: 100 x 50 S/W studing @ 400mm C/C. 100 x 100 corner posts. Tiles matching existing hanging on tanalised battens on breather felt, on 12mm sheathing plywood, 90mm celotex insulation, 9.5mm foil-back plaster board + plaster skim. At junction of cheek & main roof provide code 4 lead sinkers & at junction of face & main roof provide code 4 lead flashing. Dormer Cheeks Fireproofing: Dormer cheeks lined with 6mm masterboard or equivalent if within 1m of boundary.
- Internal stud walls including stair-well to be formed using 100 x 50 S/W studing @ 400mm C/C with top & bottom plures & nogginis and in filled with 100mm rock wool insulation or equivalent. 9.5mm plaster board + plaster skim.
- Dormer Floor: 22mm T&G chipboard on sized timber joists suspended from steel beams. 100mm rock wool to be suspended within new floor with chicken wire/netting. The new joists and supporting beams are to be set 25mm clear of existing ceiling joists. Floor board and insulation to be laid to the eaves interface. Moisture resistance flooring in toilet / shower area. T&G flooring to be screwed with occasional screw fixings to new joists to prevent squeaking. Timber joists designed in accordance with the Approved Document A - Floor joist span tables.
- Dormer Roof: Torch on mineral felt on torch on felt underlay on ventilated 3H felt layer on 50 x 200mm timber joists @ 400mm C/C. 150mm celotex with cross-ventilation between rafters and 12mm to U/S. 9.5mm foil-back plaster board plus plaster skim.
- Dormer Roof: Torch on mineral felt on torch on felt underlay on ventilated 3H felt layer on 115mm celotex tempcokeck or equivalent on 50 x 200mm timber joists @ 400mm C/C. 9.5mm foil-back plaster board to U/S plus plaster skim.
- Ventilation to Proposed & Existing Roof: Air is to be introduced into roof via air gap (50mm) between U/S felt and insulation via a continuous 25mm eaves gap and a combined area equal to a continuous 5mm ridge gap.
- Doors: All internal doors in both ground & first floor to be self closing. Doors in loft to be self closing and to be half hour fire rated.
- Lighting: Provide a minimum of 1 energy efficient light fitting in loft/landing.

CONSTRUCTION (DESIGN and MANAGEMENT) REGULATIONS

It is the client's responsibility to make available all information to the contractor, with respect to Health and Safety including risks to the contractor on premises under the control of the client may be affected by the construction of the works and have any measures in place to control the works. The Contractor has a duty to perform risk assessments.

THE CLIENT MUST EMPLOY A PLANNING SUPERVISOR FOR CDM.



**NOTES**

All dimensions to be checked on site and not to be scaled from drawings.  
 All finishing materials to match existing. The contractor to ensure the works are inspected and completed to the satisfaction of L.A.  
 These drawings has been produced for planning purposes only. Compliance with Building Regulation is not to be assumed.  
 Appropriate Party Wall Notice under the PARTY WALL 1996 ACT must be served on adjoining owners prior to commencement of the building works.

Agents:-  
 MR. MONEY QADRI,  
 (M) 07949035715,  
 (F) 02085705374 (only),  
 and E/maill, -  
 draw - the@kernal.com  
 LOW ROAD OFFICE  
 RECEIVED  
 19 MAY 2011  
 PLANNING & TRANSPORTATION

Project Title  
 SINGLE STOREY REAR & SIDE EXTENSION.

Project Address  
 5 POPLAR CLOSE,  
 RUSHIP  
 HAA, FBU.

Drawing Title  
 PROPOSED SECTION.

Date  
 15th/MAY/2011

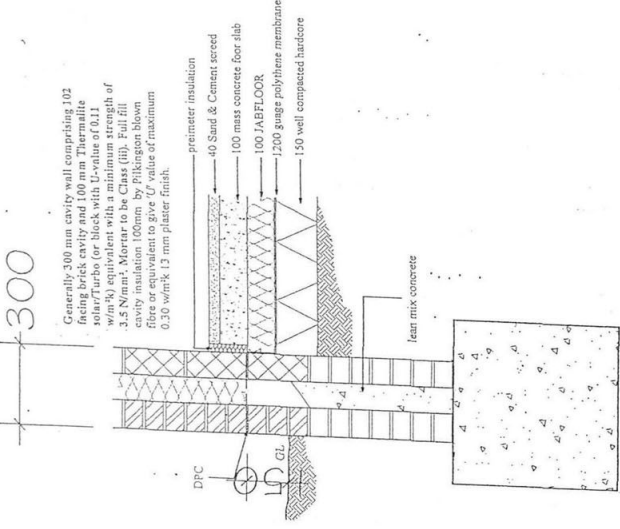
Dwg No. 0634 Rev. 1/A.

Scale  
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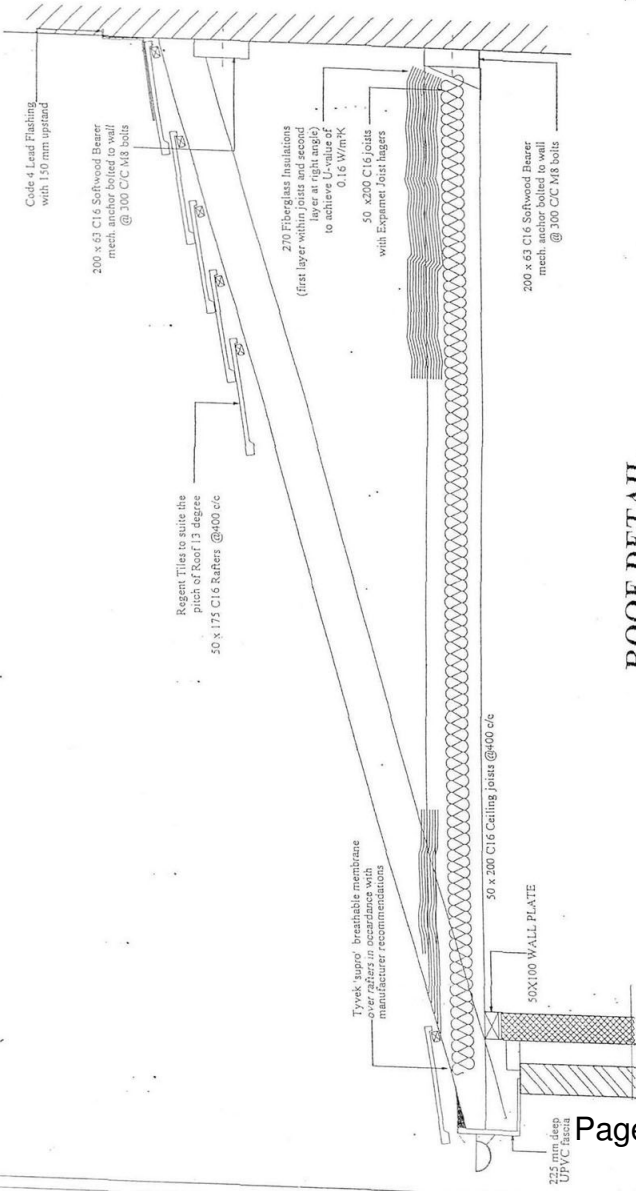
Sheet # S.6, of S.6.



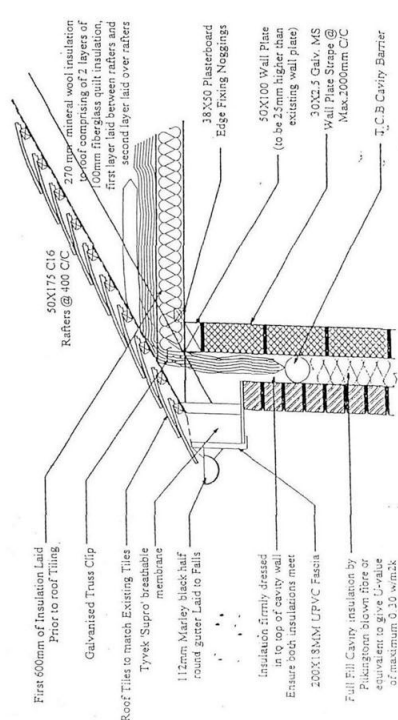
(S.5)	<b>NOTES</b>
<p>All dimensions to be checked on site and not to be scaled from drawings.          All finishing materials to match existing.          The contractor to ensure the works are inspected and completed to the satisfaction of L.A.          These drawings has been produced for planning purposes only. Compliance with Building Regulation is not to be assumed.          Appropriate Party Wall Notice under the PARTY WALL 1996 ACT must be served on adjoining owners prior to commencement of the building works.</p>	
<p>Agent:-  <b>MR. MONEY QADRI.</b>          (M) 079 490 35715,          (F) 0208 570 5374 (only)          and Elwall,          draw@elwall.com          RECEIVED          19 MAY 2011          PLANNING &amp; TRANSPORTATION</p>	
<p><b>Project Title</b>          SINGLE STOREY REAR &amp; SIDE EXTENSION</p>	
<p><b>Project Address</b>          5, POPLAR CLOSE,          RUISLIP,          HA4 7BU,</p>	
<p><b>Drawing Title</b>          ROBUST DETAILS</p>	
<p><b>Date</b>          15th / MAY / 2011.</p>	
<p><b>Drwg No.</b> 0634, Rev. 1/A.</p>	
<p><b>Scale</b>          1:20</p>	
<p><b>Sheet#</b> S.5 of S.6</p>	



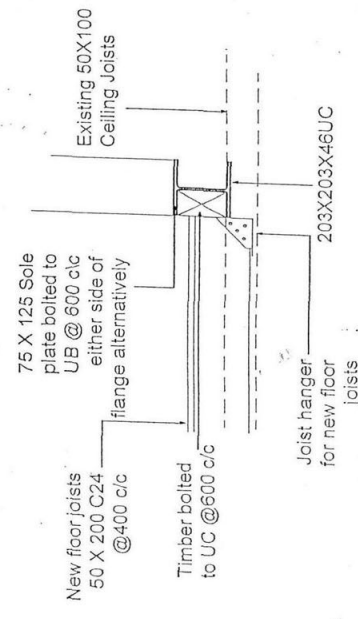
**FOUNDATION DETAIL**



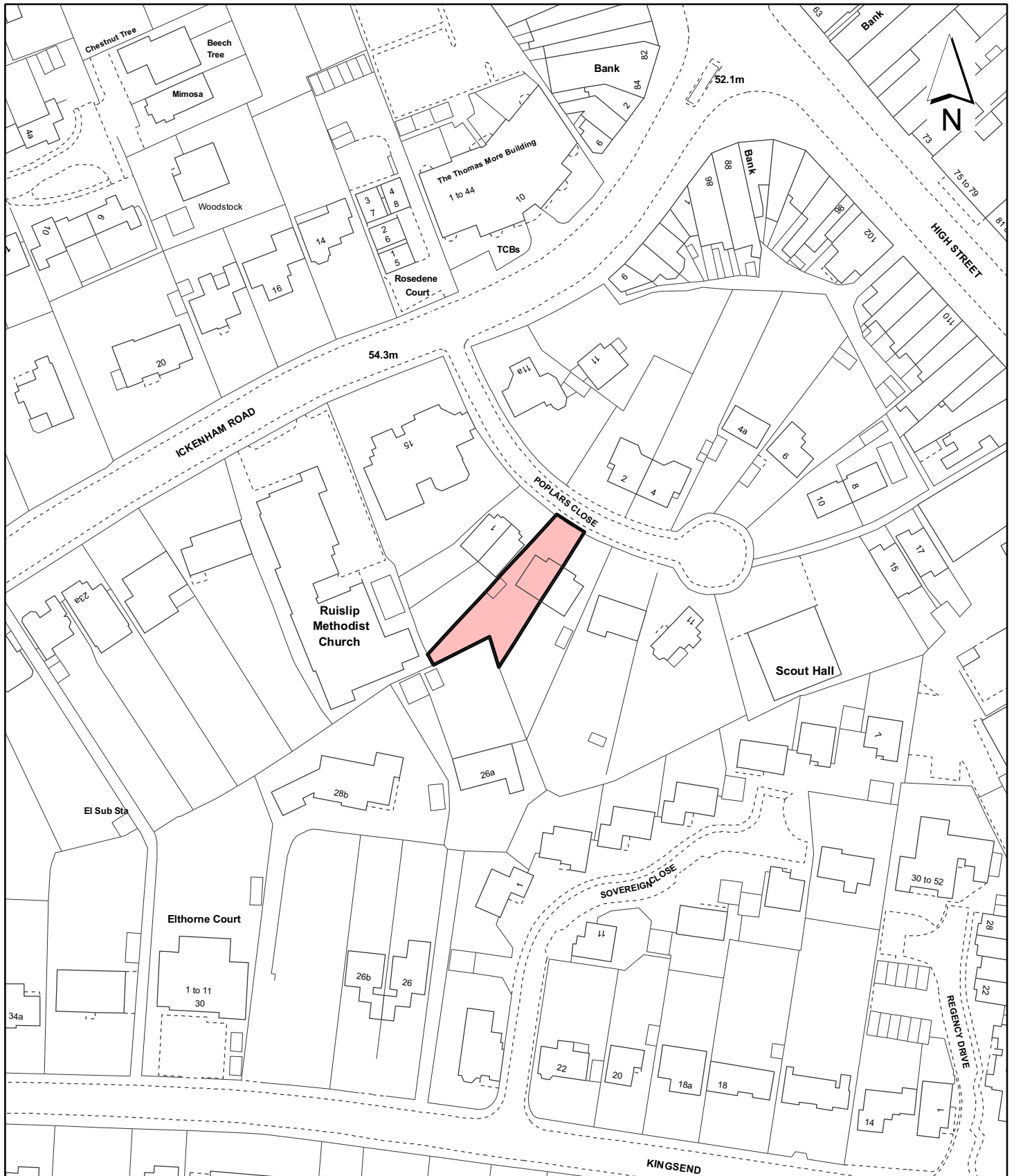
**ROOF DETAIL**




**DETAIL B**



**DETAIL D**



**Notes**

 Site boundary

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Site Address	
<b>5 Poplar Close Ruislip</b>	
Planning Application Ref:	Scale
<b>35910/APP/2011/718</b>	<b>1:1,250</b>
Planning Committee	Date
<b>North</b> Page 226	<b>November 2011</b>

**LONDON BOROUGH  
OF HILLINGDON**  
 Planning,  
 Environment, Education  
 & Community Services  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

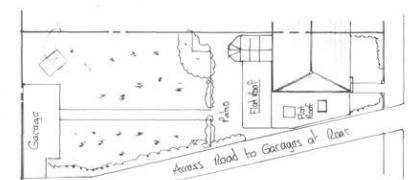


**HILLINGDON**  
LONDON

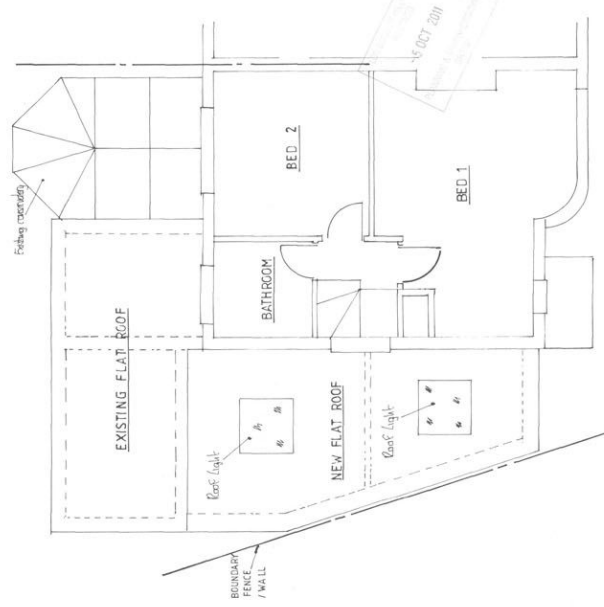
**Report of the Head of Planning & Enforcement Services**

**Address** 168 WHITBY ROAD RUISLIP  
**Development:** Single storey side extension to existing property  
**LBH Ref Nos:** 38420/APP/2011/2410

**Date Plans Received:** 05/10/2011      **Date(s) of Amendment(s):**  
**Date Application Valid:** 05/10/2011

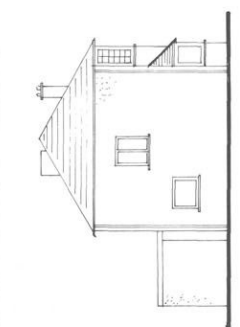


SITE PLAN 1:25

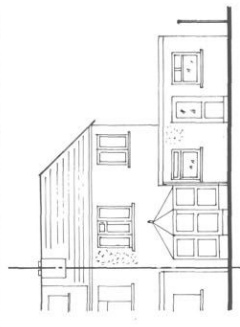


PROPOSED FIRST FLOOR

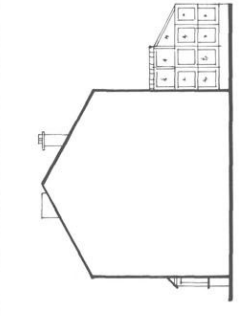
REV	DESCRIPTION	DATE
CLIENT: Mr T. Heaps		
PROJECT: 168 WHITBY ROAD, RUISLIP, HA4 9DR		
DRAWING: PROPOSED AND EXISTING PLANS AND ELEVATION		
SCALE	DATE	REV
1:100	1:50	Sept 2011
PAGE NO		101/177/101



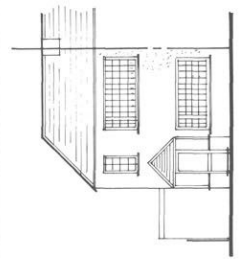
EXISTING SIDE ELEVATION



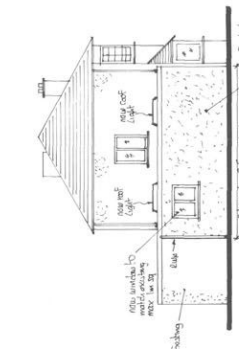
EXISTING REAR ELEVATION



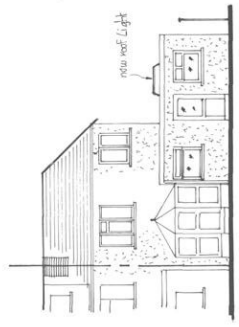
EXISTING PARTY WALL ELEVATION



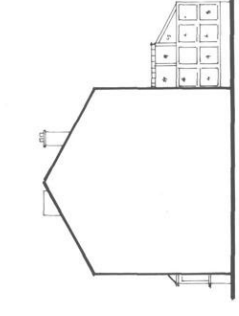
EXISTING FRONT ELEVATION



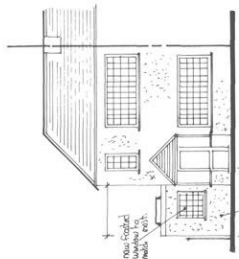
PROPOSED SIDE ELEVATION



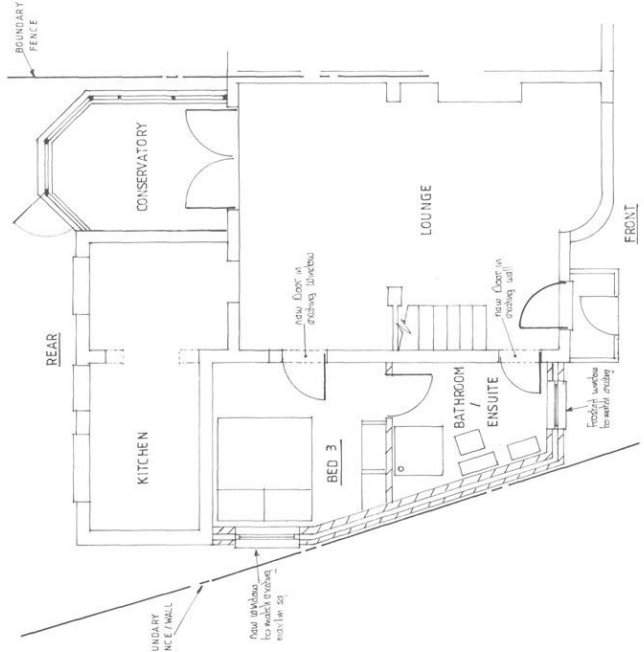
PROPOSED REAR ELEVATION



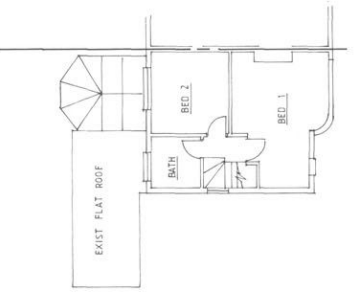
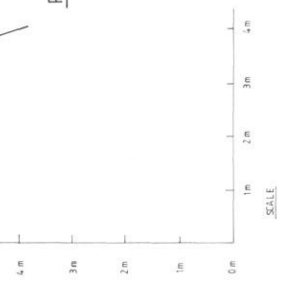
PROPOSED PARTY WALL ELEVATION



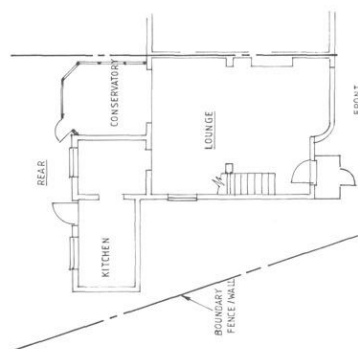
PROPOSED FRONT ELEVATION



PROPOSED GROUND FLOOR



EXISTING FIRST FLOOR PLAN  
SCALE 1:100



EXISTING GROUND FLOOR PLAN  
SCALE 1:100



## **Report of the Head of Planning & Enforcement Services**

**Address** 43 THE CHASE ICKENHAM

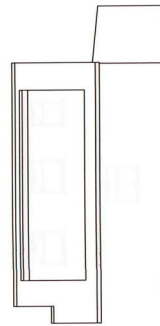
**Development:** Single storey rear extension with habitable roofspace to include a gable end window and 1 side roof light, involving demolition of existing lean-to extension to rear.

**LBH Ref Nos:** 67155/APP/2011/1564

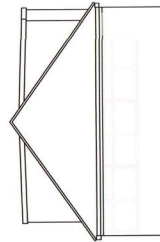
**Date Plans Received:** 27/06/2011

**Date(s) of Amendment(s):**

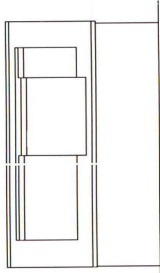
**Date Application Valid:** 28/06/2011



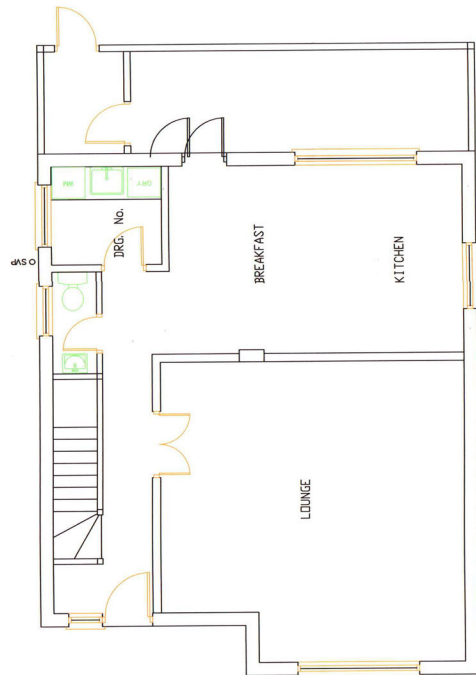
NORTH ELEVATION.  
1:100



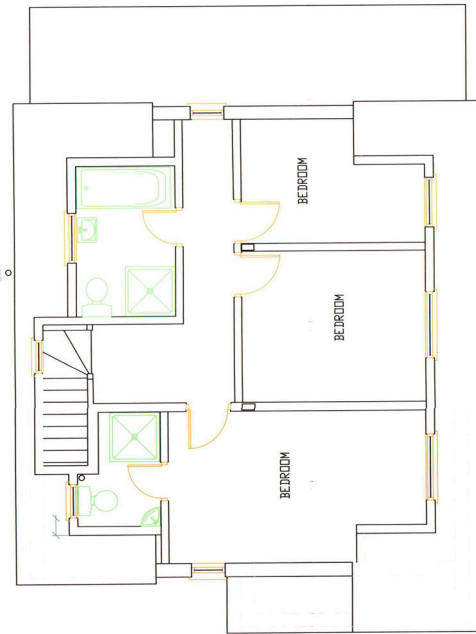
REAR ELEVATION.  
1:100



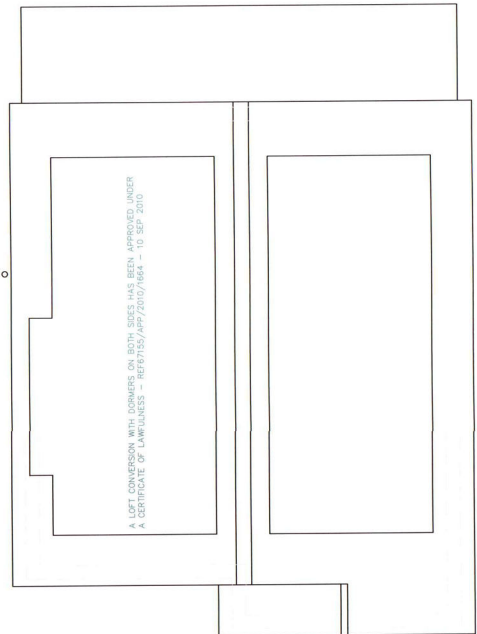
SOUTH ELEVATION.  
1:100



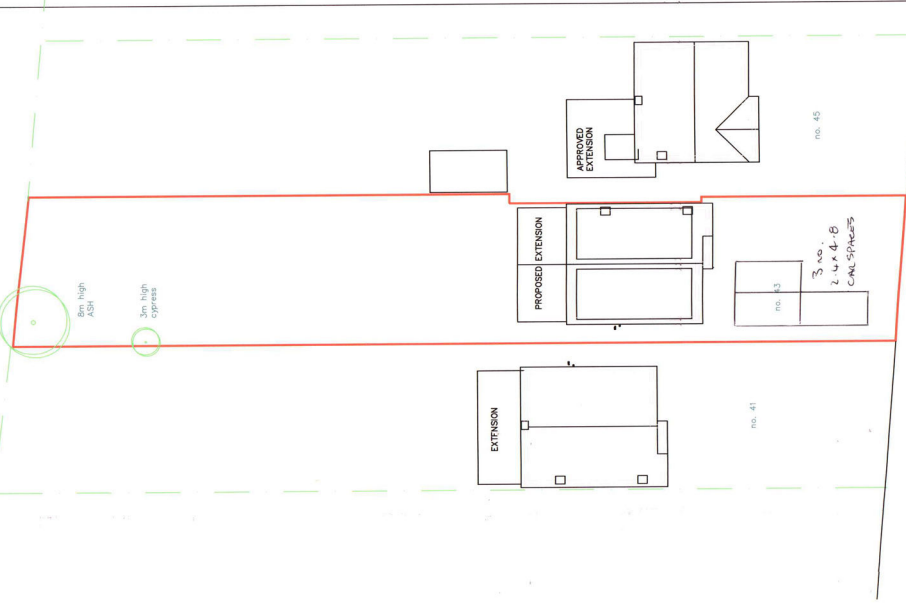
GROUND FLOOR



LOFT FLOOR



ROOF PLAN



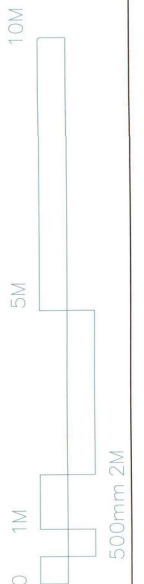
THE CHASE  
SITE LAYOUT

LOFT CONVERSION RECEIVED  
27 JUN 2011  
PLANNING & TRANSPORTATION GROUP

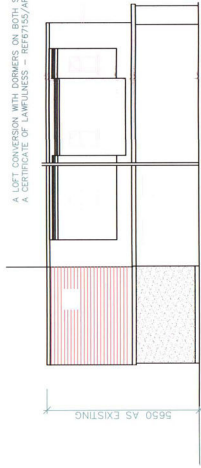
REV.	DATE	DESCRIPTION
43	THE CHASE	
ICKENHAM		
TITLE		
REAR EXTENSION		
EXISTING LAYOUTS		
DRG. No.	B3139-21	REV.
SCALE	1:50	DATE JUN 11
BRIAN DYER		
HARBOR ROAD, ICKENHAM		
TEL: 01895 812951		

- Do not scale from this drawing.
- It is the contractor's responsibility to check the site before ordering materials or commencing work.
- In case of discrepancies in drawings, the contractor shall refer to BRIAN DYER for clarification. Unilateral decisions by contractors will not be accepted.
- For any work not approved by these drawings refer to BRIAN DYER for clarification. Unilateral decisions by contractors will not be accepted.
- The contractor must ensure that work is completed in strict accordance with all the working drawings.
- It is the contractor's responsibility to ensure that all work is completed in accordance with the drawings, and at all prescribed stages of work. All to the District Council's satisfaction.
- If work commences on site before full planning approval has been given, BRIAN DYER shall not be held responsible for any additional work or materials that the contractor may require. The contractor shall remain the copyright and property of BRIAN DYER. It may only be used for the purposes of the drawings. All copies must be returned to BRIAN DYER if demolished.

By using this drawing the user and his or her contractor shall be deemed to have agreed the terms and conditions.



ROOF TILED SIMILAR TO EXISTING  
DORMER WALLS TILE HANG - COLOUR  
SIMILAR TO MAIN ROOF  
WALL RENDERED SIMILAR TO EXISTING

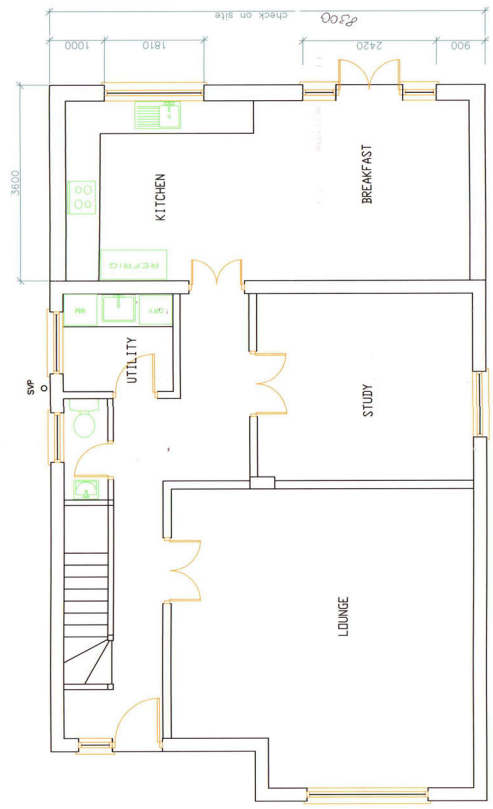


REAR ELEVATION.  
1:100

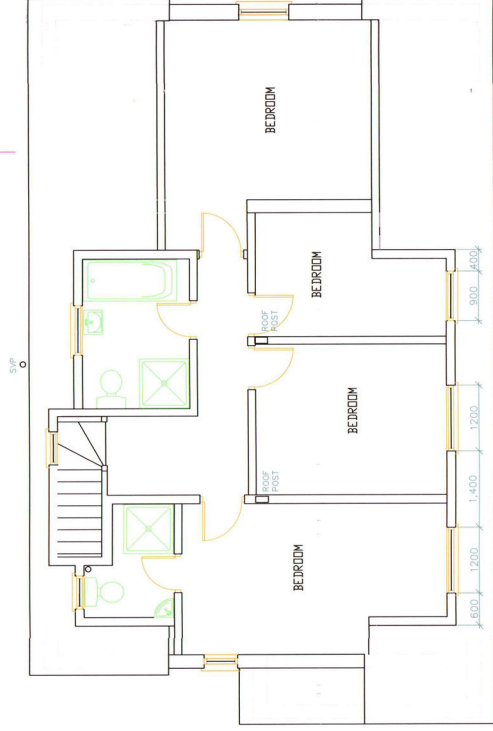
SOUTH ELEVATION.  
1:100

1. Do not scale from this drawing.
2. All dimensions to be checked on site before ordering materials or commencing work.
3. Any discrepancies in finishing conditions or details refer to BRIAN DYER for clarification. Any variations will not be accepted by contractors.
4. For any information not covered by these drawings refer to BRIAN DYER. Decisions by contractors will not be accepted.
5. The contractor must return their work to be carried out to the latest revision of all the working drawings.
6. The contractor has full responsibility to inform the local authority before work commences on site and of all prescribed conditions of the contract.
7. If work commences on site before full approval has been received by BRIAN DYER, the contractor will be held responsible for any work carried out. The Director/Supervisor may require.
8. This drawing and all copies produced therefrom remain the copyright and property of BRIAN DYER. No part of this drawing may be reproduced by BRIAN DYER or any other person without the written consent of BRIAN DYER. If amended, the employer signify their agreement of the above terms and conditions.

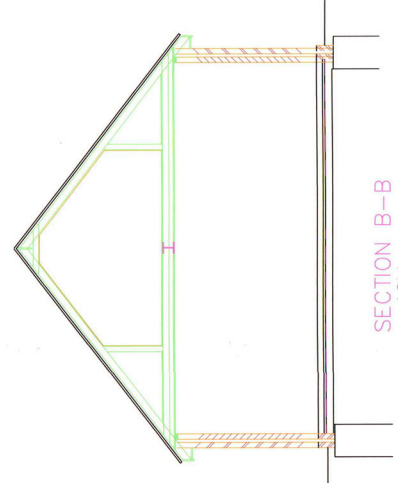
A LEFT CONVERSION WITH DORMERS ON BOTH SIDES HAS BEEN APPROVED UNDER A CERTIFICATE OF LAWFULNESS - REF: 07/05/AR/2010/01684 - 10 SEP 2010



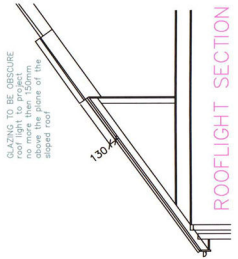
GROUND FLOOR



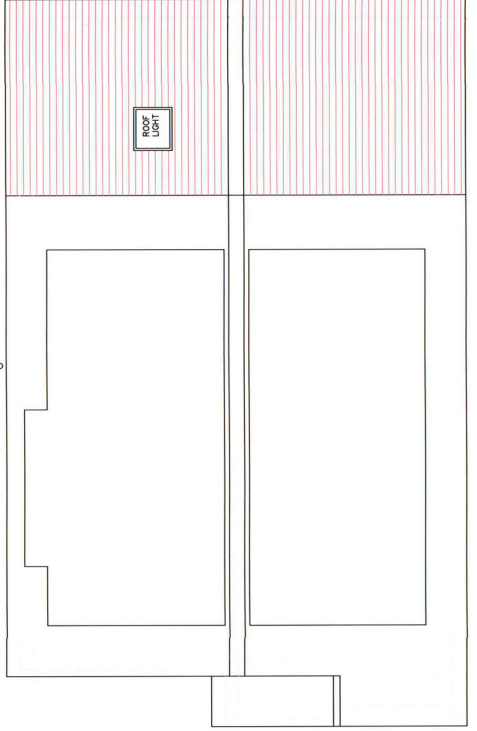
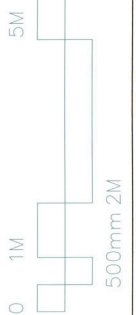
LOFT FLOOR



SECTION B-B  
10M



ROOFLIGHT SECTION



ROOF PLAN


LOW BEAM OF PLUMBING RECEIVED  
27 JUN 2011  
PLANNING & TRANSPORTATION GROUP

REV.	DATE	DESCRIPTION
JOB	43 THE CHASE	
TITLE	ICKENHAM	
	REAR EXTENSION	
	PROPOSED LAYOUTS	
DRG. No.	B3139-22	REV.
SCALE	1:50	DRN BY BD
		DATE JUN 11
BRIAN DYER HAREFIELD, OULDRINAL TEL: 01895 812951 01895 812951		





**Notes**

 Site boundary

For identification purposes only.

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Site Address

**43 The Chase,  
Ickenham**

Planning Application Ref:

**67155/APP/2011/1564**

Planning Committee

**North** Page 233

Scale

**1:1,250**

Date

**September  
2011**

**LONDON BOROUGH  
OF HILLINGDON**  
Planning,  
Environment, Education  
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## HILLINGDON LONDON

<b>Meeting:</b>	<b>North Planning Committee</b>		
<b>Date:</b>	<b>Tuesday 6<sup>th</sup> December 2011</b>	<b>Time:</b>	<b>7.00pm</b>
<b>Place:</b>	<b>Committee Room 5, Civic Centre, Uxbridge</b>		

### ADDENDUM SHEET

<b>Item: 3</b>	<b>Page: 12</b>	<b>Minutes: 25 October 2011</b>	
	<b><i>Amendments/Additional Information:</i></b>		
	Delete Councillor 'Catherine Dann' and replace with 'Philip Corthorne'		
<b>Item: 6</b>	<b>Page: 21</b>	<b>Location: 103, 105 and 107 Ducks Hill Road, Northwood</b>	
<b><i>Amendments/Additional Information:</i></b>		<b><i>Officer Comments</i></b>	
Page 22 - RECOMMENDATION  Delete (4) and replace with the following:  4. If the Unilateral Undertaking has not been completed in a satisfactory form by the 20 <sup>th</sup> January 2012, or alternatively, if a S106 Agreement has not been finalised by the 20 <sup>th</sup> January 2012, the application be refused for the following reason:  The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, libraries and construction and employment training facilities). The proposal therefore conflicts with Policy R17 of the adopted Hillingdon Unitary Development Plan Saved Policies September 2007.		Date corrected.	
Condition 26 - Page 30.  Notwithstanding the submitted plans, the development hereby approved shall not be commenced until details of the parking arrangements have been submitted to and approved in writing by the Local Planning Authority; and the development shall not be occupied until the approved arrangements have been implemented. Two disabled car-parking bays shall be provided which shall		The condition has been reproduced for clarity.	

<p>be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.</p> <p><b>REASON</b> To ensure that adequate facilities are provided in accordance with Policies AM14, AM15 and the parking standards as set out in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).</p>	
<p>Add condition 33</p> <p>No development shall take place until details of all balconies, including obscure screening have been submitted to and approved by the Local Planning Authority. The approved screening, where necessary, shall be installed before the development is occupied and shall be permanently retained for so long as the development remains in existence.</p> <p><b>REASON</b> To ensure that the development presents a satisfactory appearance and to safeguard the privacy of residents in accordance with Policies BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).</p>	<p>To ensure that the development does not prejudice the amenity of adjoining residents, or the visual amenity of the area</p>
<p>Add condition 34</p> <p>Before development commences, plans and details of one electric vehicle charging point serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority. The facility shall be installed before the development is occupied and shall be permanently retained for so long as the development remains in existence.</p> <p><b>REASON</b> To encourage sustainable travel and to comply with London Plan Policy 5.3.</p>	<p>To promote sustainable travel.</p>

<b>Item: 7</b>	<b>Page: 61</b>	<b>Location: 11 Hoylake Gardens, Ruislip</b>
<b>Amendments/Additional Information:</b>		<b>Officer Comments</b>
<p>The following additional conditions are recommended:</p> <p>15. No development shall take place until details of covered and secure facilities to be</p>		

provided for the screened storage of refuse bins within the site have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

**REASON**

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

16. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no garage, shed or other outbuilding shall be erected within the curtilage of the property.

**REASON**

To protect the character and amenity of the area and prevent overdevelopment in accordance with policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

17. None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained.

**REASON**

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (July 2011) Policy 7.1

The following condition should be amended to read as follows:

11. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the details of the acoustic fence to the rear boundaries of Nos. 13 and

<p>15 Hoylake Gardens. The boundary treatment shall be completed before the development hereby permitted is occupied or otherwise in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and thereafter shall be permanently retained.</p> <p>REASON To safeguard the visual amenities of the area in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).</p>	
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<b>Item: 8</b>	<b>Page: 79</b>	<b>Location: Little Hammonds, Breakspear Road North, Harefield</b>
<b>Amendments/Additional Information:</b>		<b>Officer Comments</b>
<p>Page 83 sets out the consultation responses received. It should be clarified that there were 8 letters and a petition in support of the proposal, 7 letters objecting and 5 giving views on the proposal but not objecting or supporting outright.</p>		

<b>Item: 10</b>	<b>Page: 103</b>	<b>Location: 13 Swakeleys Road, Ickenham</b>
<b>Amendments/Additional Information:</b>		<b>Officer Comments</b>
<p>An e-mail from the agent has been received stating that further research into the legal position regarding the issue of daylight into the flats has been undertaken.</p> <p>It further states that the building and windows have existed since the 1970's and thus benefit from laws protecting "Rights of Light" which enables owners/occupiers of properties to ensure that the erection of structures or planting by neighbours does not restrict light into a property to an unacceptable level, thus there is a recourse to law which ensures adequate daylight.</p>		<p>Whilst there may be laws which protect rights of light, there is no proof provided that these properties are protected. Furthermore, rights of light are not a planning issue and the planning merits of the case are set out in the main report.</p>

<b>Item: 11</b>	<b>Page: 119</b>	<b>Location: Land to the Rear of 51 and 53 Pembroke Road, Ruislip</b>
<b>Amendments/Additional Information:</b>		<b>Officer Comments</b>
<p>The applicant has queried the refusal recommendation on 4 grounds:</p> <p>(i) Positive pre-application advice was received.</p>		<p>(i) Officers gave pre-application advice which is considered to have improved the layout and design, however the positive verbal advice given pre-submission was without prejudice to the determination of the planning application and the</p>

<p>(ii) The Council allowed eight residential units on Land at 28 and R/O 22, 24, 26 &amp; 34 Oakdene Road, Hillingdon, which is also back-land.</p> <p>(iii) The Council allowed two houses at 11-15 Montague Road, Uxbridge which is also back-land.</p> <p>(iv) The Council allowed a house at Littlehurst &amp; Woodhurst which is also backland.</p>	<p>proposals are considered unacceptable for the reasons outlined in the Committee report.</p> <p>(ii) This site and surrounding land have detailed planning history which is relevant to the decision made by Central &amp; South Committee to allow the development. There is an appeal history to this site which if examined makes it clear why the latest application was approved. In essence only an in-fill house had been in dispute for the last application and that was deleted from the scheme, as such the Committee allowed the application solely because of the planning history. Oakdene it should be noted is quite different in character from Pembroke Road.</p> <p>(iii) The Council has also refused a lot of backland developments (a recent refusal upheld at appeal for backland development is 63, 65, 67 Lowlands Road). In this particular case the proposed new houses had a road frontage, albeit they were at the end of gardens, the road frontage means there are material differences, this application was also determined with respect to policies in place at the time of determination. It should be noted that the latest application for the site (for 4 flats) has been refused with reference to the latest planning policies concerning backland development.</p> <p>(iv) This site is in the north of the Borough. The determination pre-dates the new London Plan but was post changes to PPS 3. A detailed character assessment was made before granting this approval for a single house in expansive grounds. The application was supported by the Conservation Officer and the officer noted that</p> <p><i>"In-depth development has been allowed on Northgate in the past, including Buttsmead itself and in-depth flatted development at Sevenoaks Court further to the east of Buttsmead. More recently, two houses at the rear of Oakhurst on the opposite side of the road, albeit before the new guidance. The net result is that this is the only remaining in-depth site remaining on the north side of Northgate that has development potential. Furthermore, the proposed house would be sited behind existing houses fronting adjoining roads and given the changing levels (which equates to a floor level comparing the proposal with the higher properties on Northgate) and the access arrangements, the proposed house would not be readily visible within the street scene. The proposed house and the two donor properties would also have comparable garden areas to its</i></p>
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<p>As an overall point it should be noted that the Council has also refused a lot of backland developments, a very recent refusal upheld at appeal for backland development is 63, 65, 67 Lowlands Road which is an example of an Inspector putting considerable weighting on the value of rear gardens and the contribution they can make to the character and appearance of the street scene.</p>	<p><i>neighbours and the proposal would maintain the majority of trees on site. As such, it is considered that the scheme would not harm the character and appearance of the area and complies with the new guidance....."</i></p>
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<b>Item: 12</b>	<b>Page: 133</b>	<b>Location: 5 Poplars Close, Ruislip</b>
<b><i>Amendments/Additional Information:</i></b>		<b><i>Officer Comments</i></b>
This item has been withdrawn from the agenda by the Head of Planning.		